

**Village of Somers
7511 12th Street
Somers, WI 53171**

**Village Plan Commission Meeting
Agenda
Monday, Dec. 8, 2025
5:30 P.M.**

1. Call to order
2. Pledge of Allegiance
3. Approve Minutes of Nov. 10 Meeting
4. Correspondence
5. Citizen Comments
6. **Site Plan Review & Exterior Fenestration: Discussion and Action Request by:** Richard J Investments LLC, 2402 16th Pl., Kenosha, WI 53140 (Owner); Doug Anderson, 3943 47th Ave., Kenosha, WI (Agent), requests site plan & exterior fenestration review on Tax Parcel # 82-4-222-093-0461, located in the SW 1/4 of Section 9, T2N, R22E, Village of Somers. *(For information only, the property is located at the dead-end of 87th Ave in the Eagle Chateau subdivision)*
7. **Plan Commission Conceptual Review: Discussion on Request by:** David W Rasmussen & Scott B Rasmussen, 2004 3RD St., Kenosha, WI 53140 (Owner), Nancy Washburn, Land Development Administration, LLC, 7450 County Line Rd., Mount Pleasant, WI 53403 (Agent), requesting conceptual approval of a residential development on Tax Parcel #83-4-223-062-0200, located in the NW 1/4 of Section 6, T2N, R23E, Village of Somers. Said conceptual approval is subject to receiving formal approvals by the Village Board of a comprehensive land use plan amendment, rezoning, preliminary and final plats, and stormwater management plans. *(For information only, the property is located on the south side of State Highway 195, a few parcels east of 22nd Avenue.)*
8. Adjourn

I hereby certify that as the designee of the chief elected official of the Village of Somers, I posted this notice of the Dec. 8, 2025 Village Plan Commission Meeting Agenda in 1 public place & on the Village website.

Dated this 4th day of December, 2025

Wendy Burnette, Clerk-Treasurer

Requests from person with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at 262-859-2822 with as much notice as possible. Notice is hereby given that members of the Plan Commission members participate telephonically. Notice is hereby given that members of the Village Board may be in attendance for the sole purpose of gathering information. A quorum may be present. However, no Board action will be taken.



Village of Somers
Proceeding from the Village Plan
Commission Meeting
November 10, 2025

1. Call to Order

Chairman Stoner called the meeting to order at 5:30 p.m.

Present:

- Chairman George **Stoner**
- Commissioner Michael **DeLuca**
- Commissioner Vinnie Chambers
- Commissioner Donald Boxx
- Commissioner Gregg Thompson (**Virtual**)

Absent:

- Commissioner Troy Steege
- Commissioner Jerry Romanowski
- Alternate Pat Juliana

Staff present in person: Administrator Jim Hurley, Assistant Kevin Poirier, Deputy Clerk Treasurer Eugenia Lara, and Chief Andersen

Village Trustees: Ben Harbach and Jackie Nelson

Others: Gregg Sinnen, Luke Godshall and Doug (Engineer)

2. Pledge of Allegiance

Chairman Stoner led everyone in the Pledge of Allegiance.

3. Approve Minutes of October 13, 2025, Meeting

Commissioner Donald Boxx moved to approve to the minutes.

Seconded by Commissioner Michael Deluca

Motion carried. 5-0 vote.

4. Correspondence

None

5. Citizen Comments

None

6. **Public Hearing & action on Final Plat (land division):** request by Somers Creek Inc, 4011 80th St, Kenosha, WI 53142 (Owner), Daniel Szczap, Bear Development, LLC, 4011 80th St., Kenosha, WI 53142 (Agent); requesting approval of a final plat (dated March 20, 2025 and prepared by John P. Konopacki of Pinnacle Engineering Group), on Tax Parcel #s 82-4-222-151-0560, 82-4-222-151-0561, 82-4-222-151-0563, located in the NE 1/4 of Section 15, T2N, R22E, Village of Somers. *(For information only the property is located east of the Pike Creek Lift Station).*

Commissioner Donald Boxx moved to approve on Final Plat (land division): request by Somers Creek Inc, 4011 80th St, Kenosha, WI 53142 (Owner), Daniel Szczap, Bear Development, LLC, 4011 80th St., Kenosha, WI 53142 (Agent); requesting approval of a final plat (dated March 20, 2025 and prepared by John P. Konopacki of Pinnacle Engineering Group), on Tax Parcel #s 82-4-222-151-0560, 82-4-222-151-0561, 82-4-222-151-0563, located in the NE 1/4 of Section 15, T2N, R22E, Village of Somers. (For information only the property is located east of the Pike Creek Lift Station).

Daniel Szczap of Bear Development, representing Somers Creek Inc. Here for final Plat 73 homes sites and 2 out lots. He noted currently addressing a conflict with WE Energies.

President Stoner commended the project engineers for their excellent work accommodating on gravel trail. He added that Kenosha County will assume responsibility for the trail, which will become part of the bike path system extending through the Village of Somers along the entire trail along the Pike River.

Vinnie Chambers inquired about the timeline for breaking ground

Daniel stated utility installation is expected to begin in December, with site clean-up and street construction planned June or July. He added that permit-ready lots are anticipated by September, possibly by sooner.

Luke Godshall confirmed that all Preliminary Plat items have been addressed.

Seconded by: Commissioner Delucca

Motion carried 5-0 vote.

7. **Action on Bond Requirement** per Ordinance ZN 6.01 requested by SRPF D/Burlington Road., LLC for Tax parcels 82-4-222-301-0040; 82-4-222-301-0030; 82-4-222-194-0101 and 82-4-222-301-0050. *(For information only the property is located west of the Somers Highland Industrial warehouse on Burlington Road).*

Commissioner Boxx motioned to approve Bond Requirement per Ordinance ZN 6.01 requested by SRPF D/Burlington Road., LLC for Tax parcels 82-4-222-301-

0040; 82-4-222-301-0030; 82-4-222-194-0101 and 82-4-222-301-0050. (For information only the property is located west of the Somers Highland Industrial warehouse on Burlington Road).

Administrator Jim Hurley noted that SRPF D Requested bond and bond was approved.

Seconded by Commissioner Chambers

Motioned carried. 5-0 vote.

8. **Discussion and Action on Request by:** SFW Land LLC & Fettner Hergott Investment Group LLC, Po Box 1481, Northbrook IL 60062 (Owners); Kevin Yeska, JSD, 507 W. Verona Ave., Suite 500, Verona, WI 53593 (Agent), requesting conceptual approval of a multi-family residential development on Tax Parcel #83-4-223-074-0006, located in the SE 1/4 of Section 7, T2N, R23E, Village of Somers. Said conceptual approval is subject to receiving formal approvals by the Village Board of a comprehensive land use plan amendment, rezoning, land division, overall site plan & building fenestration review and stormwater management plans. *(For information only the property is located east of Somers Fire Station II).*

No action necessary at this time for SFW Land LLC & Fettner Hergott Investment Group LLC. Applicant will do a former application in the near future.

9. **Adjourn:** 6:32 p.m.

Commissioner Boxx moved to adjourn.
Seconded by Commissioner Chambers.
Motion carried 5-0 vote.

Drafted 11/13/ 2025. These minutes are not official until approved by the Plan Commission. Submitted by Deputy/Clerk Treasurer Eugenia Lara.



KENOSHA COUNTY

Shelly Billingsley, Director
Department of Public Works
& Development Services

Andy M. Buehler, Director
Division of Planning & Development

TO: Village of Somers Plan Commission
FROM: Luke Godshall, Senior Land Use Planner
APPLN DATE: 10-26-25
RPT DATE: 11-24-25
MTG DATE: 12-08-25
RE: Eagle Chateau apartment buildings

PROJECT/SITE INFO:

1. Petitioner/Agent: Doug Anderson
2. Property Owner: Richard J Investments LLC
3. Location/Address: Lots 5 & 6 of Eagle Chateau Subdivision (vacant land at end of 87th Ave.)
4. Tax key Number(s): 82-4-222-093-0461
5. Area: 2 acres
6. Existing Zoning: R-11 Multiple-Family Residential Dist.
7. Existing Land Use: Medium-Density Residential, Other Conservancy Land to be Preserved

OVERVIEW:

The Petitioner proposes to develop an existing vacant parcel with two (2) apartment buildings – one 3-unit building and one 4-unit building. The petitioner is seeking approval of the overall site plans and building fenestration.

PLANNER COMMENTS:

The subject parcel is currently vacant and already zoned R-11 Multiple-Family Residential District which allows for the proposed use. While the R-11 district allows for a density of up to 12.4 dwelling units per acre, the proposed project will only result in a density of approximately 3.5 dwelling units per acre. The parcel is bordered to the north by existing apartment buildings in the Eagle Chateau subdivision, and to the south & west by single-family homes.

The submitted plans for the site shows that the proposed buildings will meet minimum ordinance requirements for setbacks (40' street, 15' from side lot lines, 25' from rear lot line and 75' from the ordinary high water mark of navigable waterway). It should be noted that the location of the proposed 4-unit building is extremely close to the minimum required 40' street yard setback and to the minimum required 75' ordinary high water mark setback. Extreme care must be taken to ensure the constructed building meets these setbacks. It is recommended that a professional land surveyor verify these setbacks prior to foundations being poured. After building foundation are poured, an as-built foundation survey will be required to be submitted verifying that all required setbacks have been met.

The plans show the proposed buildings be within the maximum allowable building height of 35'. However, the plans indicate a roof pitch of 4/12 whereas Village ordinance requires a minimum roof pitch of 5/12.

Revised plans showing at least a 5/12 pitch on each building will need to be submitted for review and approval.

Plans will also need to be revised to show that each 3-bedroom unit will have at least 1200 square feet of living space per dwelling unit to meet Village ordinance.

The submitted building elevations and conceptual renderings show that the exterior facades of the buildings will be composed with a mixture of colors and materials including stone veneer, architectural shingles, and horizontal & vertical LP smart siding.

This project will require a minimum of **19** parking spaces by ordinance (2.5 spaces for each 3-bedroom apartment plus one guest parking space for every 8 units). The submitted site plan accounts for 14 spaces (1 enclosed garage parking space for each unit and 1 exterior space adjacent to each unit's garage). A revised site plan accounting for a minimum of 19 parking spaces will need to be submitted for review and approval.

A landscaping plan was not included with the submittal. Village zoning ordinance requires submittal of a landscape plan prepared by a registered Landscape Architect for all new development or redevelopment that addresses the minimum requirements contained in Section ZN 3.19 of the Village of Somers zoning ordinance. The Petitioner will need to submit a professionally drawn landscape plan for review and approval.

A lighting/photometric plan was not submitted for the proposed development. It is recommended that a lighting plan be submitted for review and approval to ensure compliance with Section ZN 3.18 (Exterior Lighting Standards) of the Village of Somers zoning ordinance. All site lighting (ground and building mounted fixtures) must be fully shielded, cut-off type fixtures.

Planning & Development will issue zoning permits for the project once the Petitioner has executed any necessary Developer's Agreement and has met any other Village of Somers requirements for the development.

STAFF RECOMMENDATION:

Should the Plan Commission choose to recommend approval of the submitted application, staff would recommend the following:

1. Subject to the proposed buildings meeting all required setbacks (40' from street right-of-way, 15' from side lot lines, 25' from rear lot line and 75' from the ordinary high water mark of navigable waterway). The as-built location of the buildings shall be verified by submitting a plat of survey prepared by a Wisconsin Professional Land Surveyor.
2. Subject to each 3-bedroom unit containing at least 1200 square feet of living space to meet Village ordinance requirement.
3. Subject to each building having a minimum 5/12 roof pitch.
4. Subject to submitting a revised site plan accounting for a minimum of 19 parking spaces (including enclosed garage spaces).
5. Subject to a landscape plan that has been prepared by a registered Landscape Architect being submitted for review/approval.
6. Subject to a lighting/photometrics plan being submitted for review/approval.
7. Subject to receiving stormwater plan approval by the Village of Somers engineer.
8. Subject to implementation of a Developer's Agreement between the Petitioner and the Village of Somers.

VILLAGE OF SOMERS

Department of Planning and Development

VILLAGE OF SOMERS SITE PLAN REVIEW PROCEDURES

1. Contact the Kenosha County Department of Planning & Development and check with staff to determine if your proposed zoning change meets the requirements of the Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035, Village of Somers General Zoning and Shoreland/Floodplain Zoning Ordinance and the Village of Somers Land Division and Platting Control Ordinance.

2. Contact the Kenosha County Department of Planning & Development and schedule a pre-conference meeting, which is required for all site plan review requests.

Meeting Date: _____

3. Contact the Village of Somers to determine if your site plan review application requires concept review by the Village Plan Commission. If so, contact the Village of Somers clerk to schedule a concept meeting with the Village Plan Commission.

Meeting Date: _____

4. Complete and submit to the Kenosha County Department of Planning & Development the Village of Somers Site Plan Review Application by the filing deadline.

Filing Deadline: _____

5. Upon submission you will be given two copies of the date-stamped application. Submit a copy of the date-stamped application to the Village of Somers clerk for placement on the agendas of the Village of Somers Plan Commission and the Village of Somers Board. Keep the other copy for your records.

7. Attend the Village Plan Commission and the Village Board meetings. **NOTE:** You must attend or the Village will not be able to act on your request. At these meetings you will be asked to brief the committee on your request.

Village Plan Commission meeting date (tentative): _____

Village Board meeting date (tentative): _____

8. Village clerk will provide written notice of final action to property owner/applicant.

SITE PLAN REVIEW
CHECKLIST

Owner: Richard J Investments Date 9-11-25

Mailing Address: 2402 16th Pl Phone # 727-200-1729
Kenosha, WI 53140 Phone # _____

Agent: Doug Anderson DAC General Contracting Phone # 262-496-0669

Mailing Address: 3943-47th Ave Phone # _____
Kenosha, WI 53144 dacgeneralcontractingllc@gmail.com

Architect/Engineer: Anthony GARZA TGAR Group Inc Phone # 262-918-4620

Mailing Address: 1213-55th St Phone # _____
Kenosha, WI 53140

Tax Parcel Number(s): 82-4-222-093-0461 Acreage of Project: 1.98

Existing Zoning: R-9 Proposed Zoning: _____

Conditional Use Permit: _____

Description of Project: (include the following when applicable):

Description of project: Build a 3unit + 4unit Town Home style

Size of existing building(s): None

Size of new building(s) and/or addition(s): 3unit 69x36 4unit 92x36

Number of current and projected full-time and part-time employees, number of shifts: _____

Number of proposed units: 7 Description of units: 3-bedroom 2.5 Bath Town Home style

Density: _____

Plat of Survey Submitted:

Covenants and Restrictions Submitted

A. BUILDING PLANS SUBMITTED? (BUILDING APPEARANCE)

- No building shall be permitted the design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- No building shall be permitted the design or exterior appearance of which is so identical with those adjoining as to create excessive monotony or drabness.
- No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.
- Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- Building Rooflines and Roof Shapes. The visual continuity of roofs and their contributing elements (parapet walls, coping, and cornices) shall be maintained in building development and redevelopment.
- Since the selection of building colors has a significant impact upon the public and neighboring properties, color shall be selected in general harmony with existing neighborhood buildings.
- No building or sign shall be permitted to be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in that area, or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
- The facade of all buildings which face upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing an existing or future street shall be finished with a combination of brick, decorative masonry material, decorative pre-cast concrete panels, decorative glass panels, wood, or decorative metal or vinyl siding. Such finished material shall extend for a distance of at least 10 feet along the sides of the structure. All buildings on corner lots shall have the required finished facade facing each street.

B. SITE PLAN SUBMITTED?

- Building locations shall maintain required setbacks from property lines and road rights-of-way.
- Buildings and uses shall provide for safe traffic circulation and safe driveway locations.
- Buildings and uses shall be provided with adequate public services as approved by the appropriate utility.

**SITE PLAN REVIEW
CHECKLIST**

- Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead doors shall face upon a street right-of-way without approval of the zoning administrator.
- Parking areas shall maintain required setbacks and parking spaces shall be of minimum required size (9' x 18'). Aisle widths within parking lots shall be a minimum of 24' between the ends of the parking spaces.
- Each parking space shall be on the same lot or parcel as the principal use, and all parking lots shall have the same zoning district as the principal use. Parking spaces and driveways shall be a minimum of 20 feet from the established highway right-of-way and a minimum of 10 feet from all rear and side lot lines. Curbs or barriers shall be installed so as to prevent vehicles from extending beyond designated parking or driving areas.
- Parking areas for five or more vehicles adjoining a residential use, shall be screened from such use by a solid wall, fence, evergreen planting of equivalent visual density or other effective means, and built and maintained at a minimum height of four feet at the time of planting or installation.
- Adequate access to a public or private roadway shall be provided for each parking space. For all non-residential properties, driveways for vehicular ingress and egress shall be a minimum of 10 feet in width and not exceed 35 feet in width at the property line.
- All off-street parking of more than five vehicles shall be graded and surfaced with asphalt or concrete.

C. LANDSCAPING AND LIGHTING PLAN SUBMITTED?

- Buildings and uses shall make appropriate use of open spaces. The zoning administrator or Village Board may require appropriate landscaping and planting screens. A landscaping maintenance program, together with appropriate assurances, shall be submitted.
- Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
- Exterior lighting used for parking lots, recreation facilities, product display, and security shall not spill-over on operators of motor vehicles, pedestrians, and/or adjacent residential property (cut-off type luminaries only).

Appropriate buffers shall be provided between dissimilar uses.

D. SEWER VERIFICATION/SANITATION EVALUATION OR APPLICATION SUBMITTED?

E. UTILITY PLANS SUBMITTED?

F. STORMWATER DRAINAGE AND EROSION CONTROL PLAN SUBMITTED?

Appropriate erosion control and stormwater management measures shall be utilized in all new development. Buildings and uses shall maintain existing topography, drainage patterns, and vegetative cover insofar as is practical. The zoning administrator or Village Board may require that drainage easements be executed.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Post Office, Suite 185-3
 Bristol, Wisconsin 53104-9772

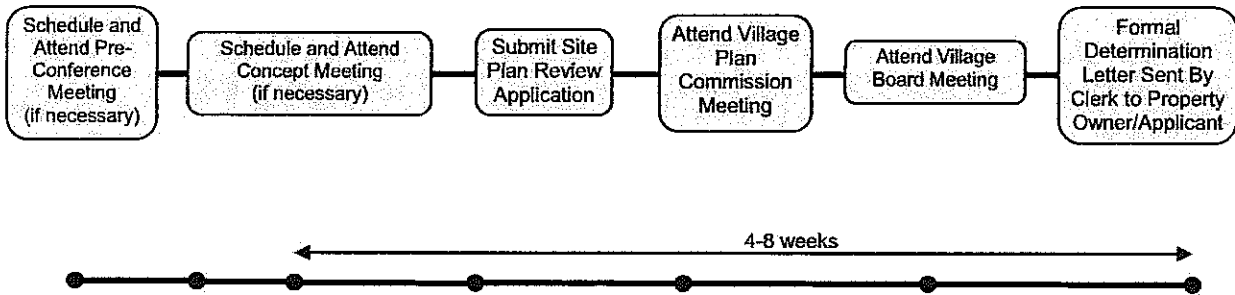
Division of County Development (including Sanitation & Land Conservation)..... **857-1895**
 Facsimile #..... **857-1920**

Public Works Division of Highways **857-1870**

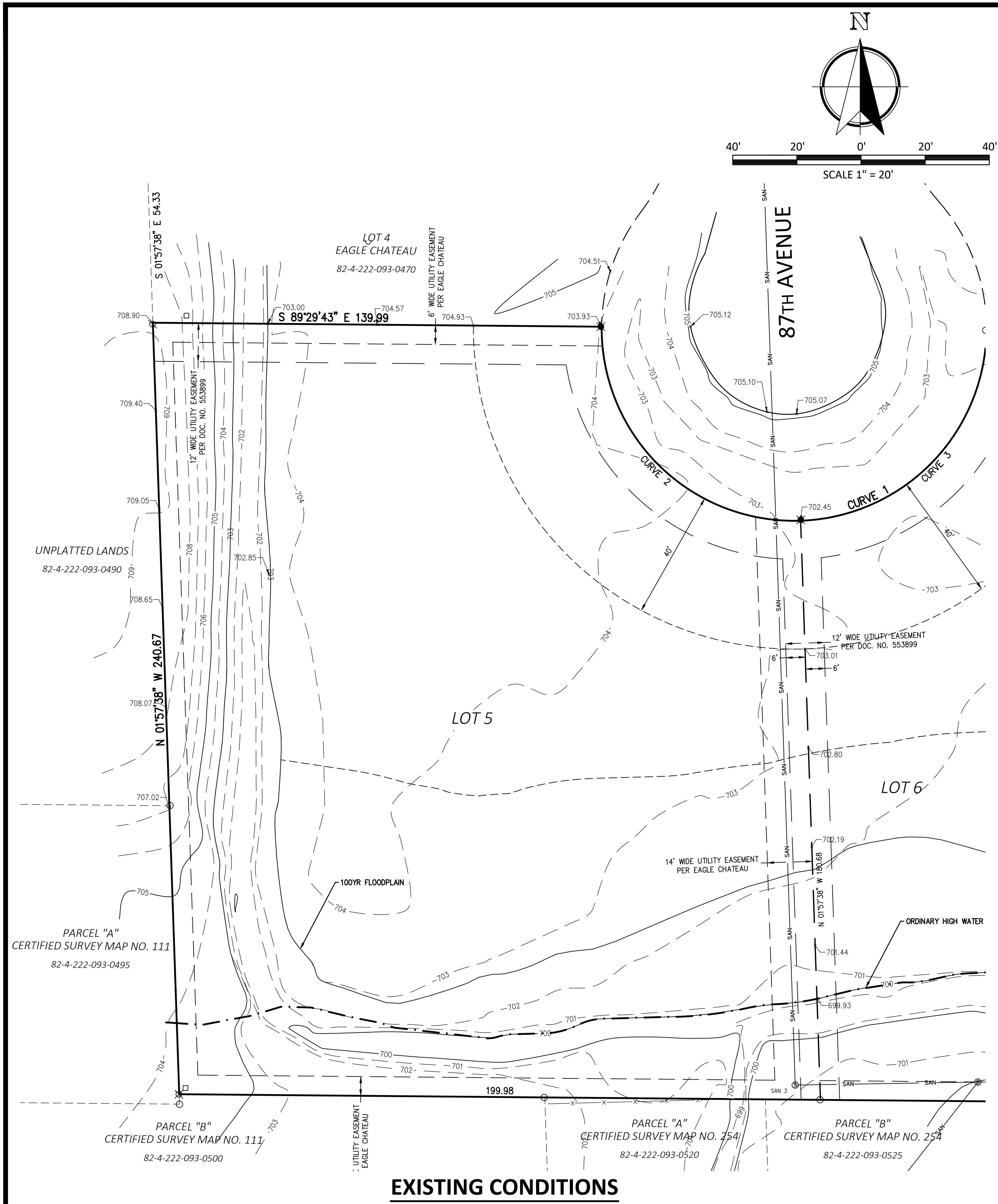
Administration Building
 Division of Land Information..... **653-2622**

Village of Somers **859-2822**
 Wisconsin Department of Natural Resources - Sturtevant Office **884-2300**
 Wisconsin Department of Transportation - Waukesha Office **548-8722**

Site Plan Review Procedure Timeline



For Reference Purposes



EXISTING CONDITIONS

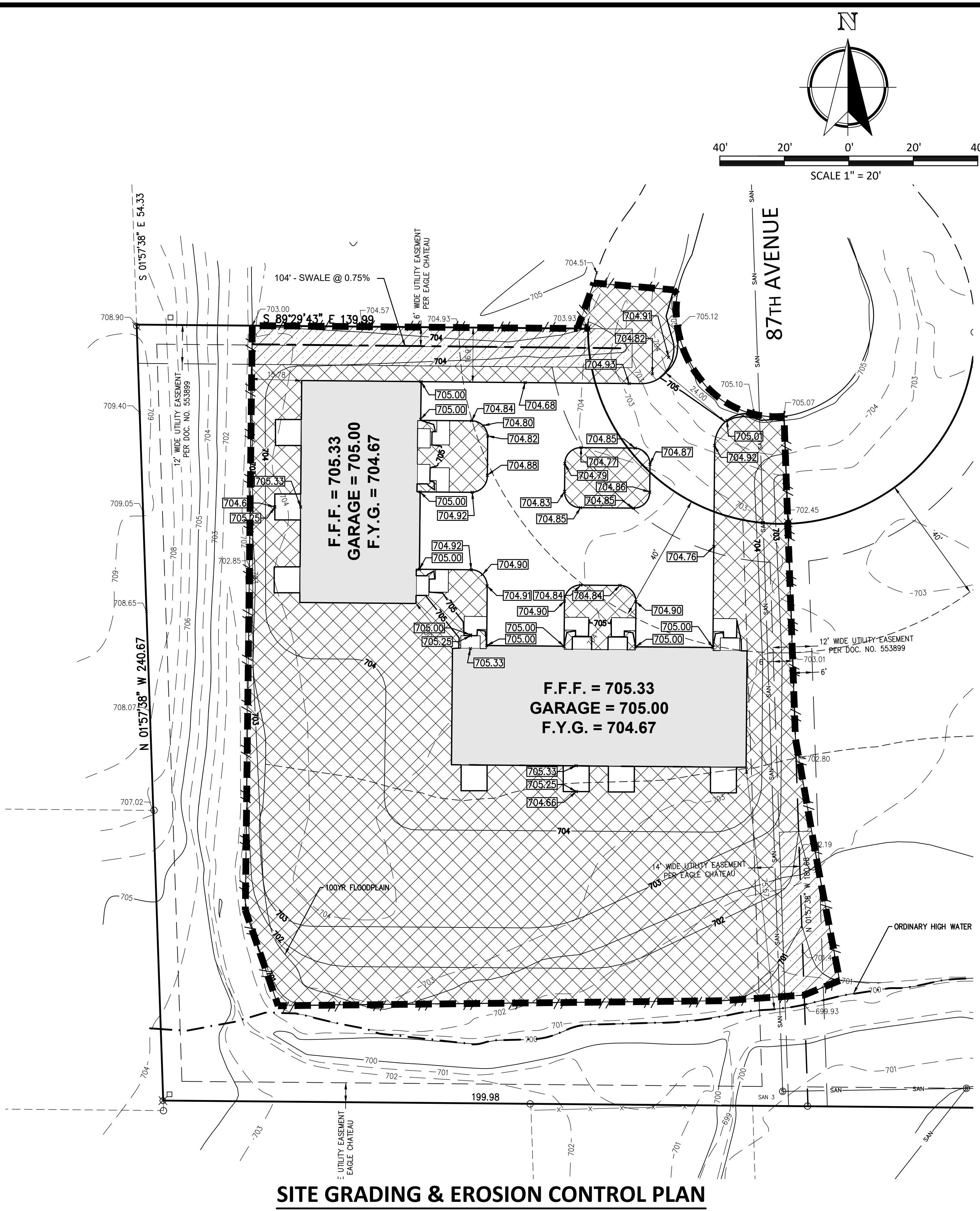
NOTES
 BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1983 / 2011.
 ALL ELEVATIONS REFER TO NAVD 1988 (12).

- LEGEND**
- COMMUNICATION BOX
 - ⊙ SANITARY MANHOLE
 - SAN — SANITARY SEWER
 - 1-1/2" IRON PIPE FOUND
 - ⊗ 2-1/4" IRON PIPE FOUND
 - ⊗ 1" IRON PIPE FOUND
 - ⊗ 1-1/4" IRON PIPE FOUND
 - ⊗ 1" IRON ROD FOUND

- CURVE 1** S 89°29'43" E (EAST)
 120.00' (188.50)
 A=188.48'
 R=60.00'
- CURVE 2** S 45°43'38" E (S 46°13'40" E)
 86.64' (96.82)
 A=96.81'
 R=60.00'
- CURVE 3** N 44°16'57" E (N 43°40'30" E)
 83.01' (91.68)
 A=91.67'
 R=60.00'

EXISTING UTILITY DATA

SAN 1	SAN 2	SAN 3
RIM 706.43	RIM 702.42	RIM 701.98
IE. 8" N/S 694.78	IE. 8" E/W 692.82	IE. 8" N/E 692.98
	IE. 8" SW 692.82	



SITE GRADING & EROSION CONTROL PLAN

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 www.DiggersHotline.com

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- 604.88 — EXISTING SPOT GRADES
- 604.88 — PROPOSED SPOT GRADES
- // — SILT FENCE
- [Cross-hatched] SLOPE EROSION MAT - CLASS I, TYPE A (URBAN)
- [Diagonal-hatched] CHANNEL EROSION MAT - CLASS I, TYPE B
- [Dashed] DISTURBED AREA (35,300 S.F. = 0.810 AC)

mb
 Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd, Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

LOT 5
EAGLE CHATEAU SUBDIVISION
 EXISTING CONDITIONS /
 SITE GRADING PLAN & EROSION CONTROL PLAN
 FOR
 DAC GENERAL CONTRACTING, LLC
 VILLAGE OF SOMERS, COUNTY OF KENOSHA, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
 DRAFTED: JW/R
 DATE: 3-19-2025
 CHECKED: MDE
 DATE: 3-19-2025

2023.0178.01

SHEET
1 OF **1**

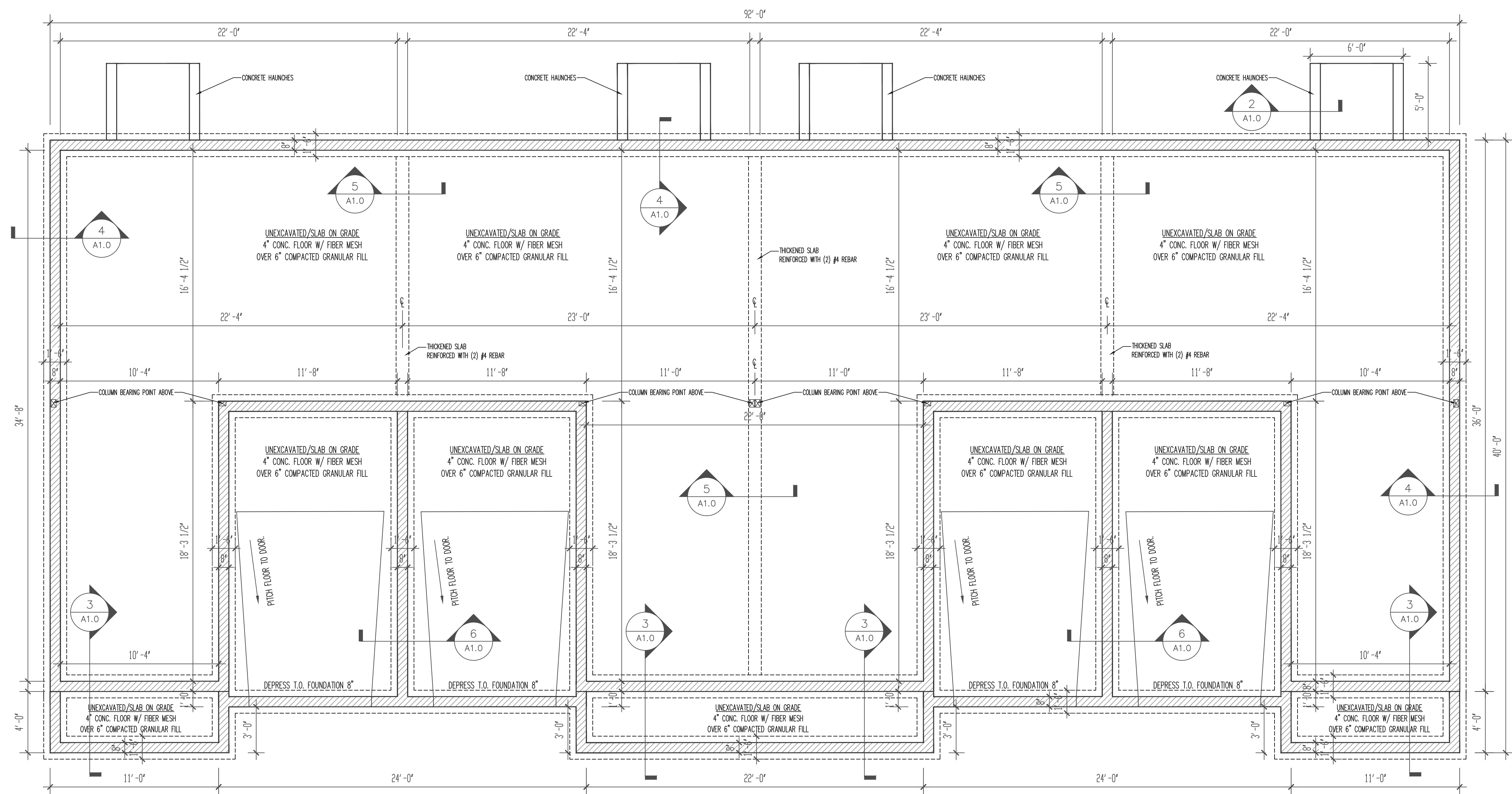
ISSUE FOR REVIEW: 3-20-2025



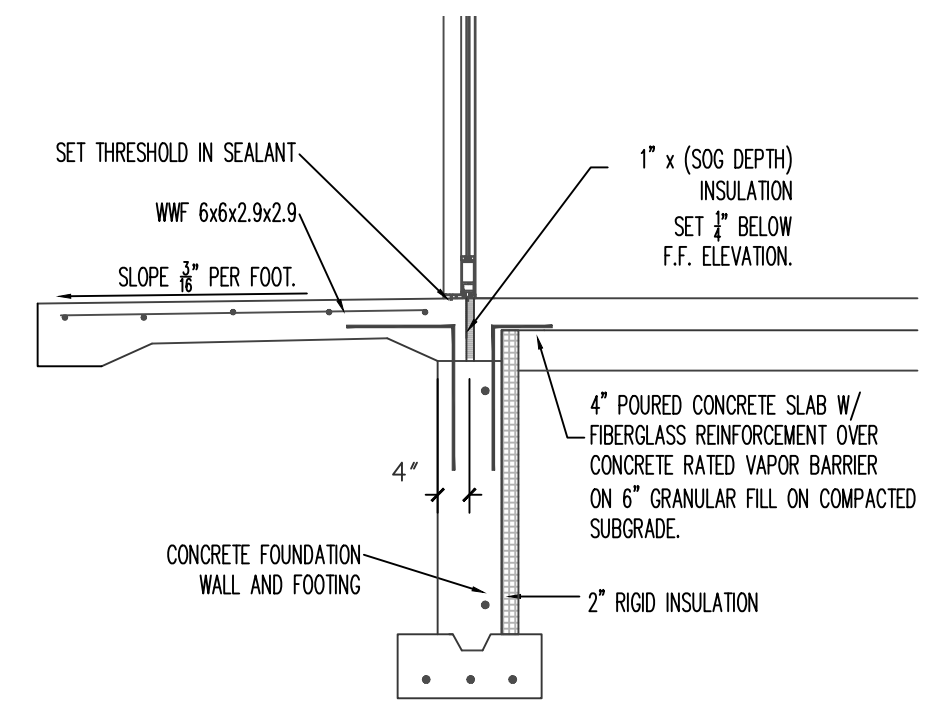


TGAR GROUP, Inc.

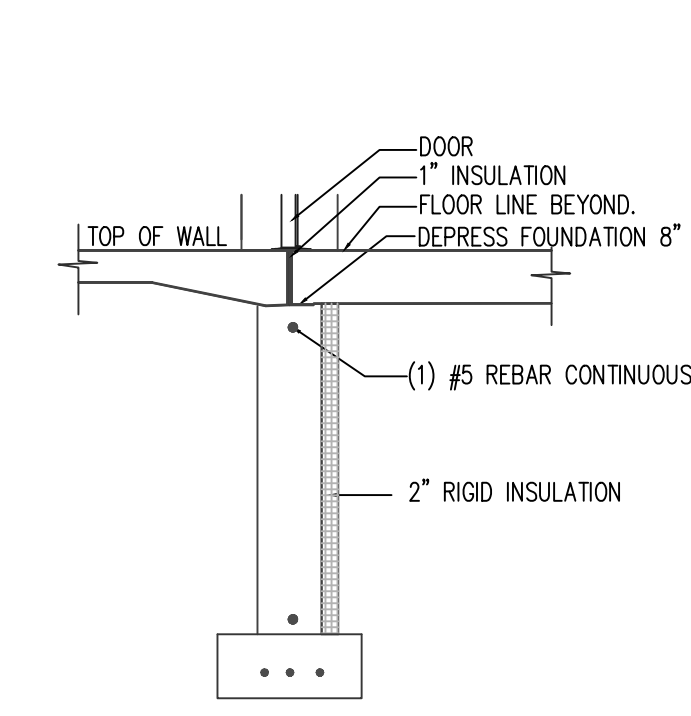
ARCHITECTURE * ENGINEERING * CONSTRUCTION
DESIGN BUILD
1213 Fifty-Fifth Street
Kenosha, Wisconsin 53140
Ph: (262) 818-4620
E-mail: tony@tgargr.biz



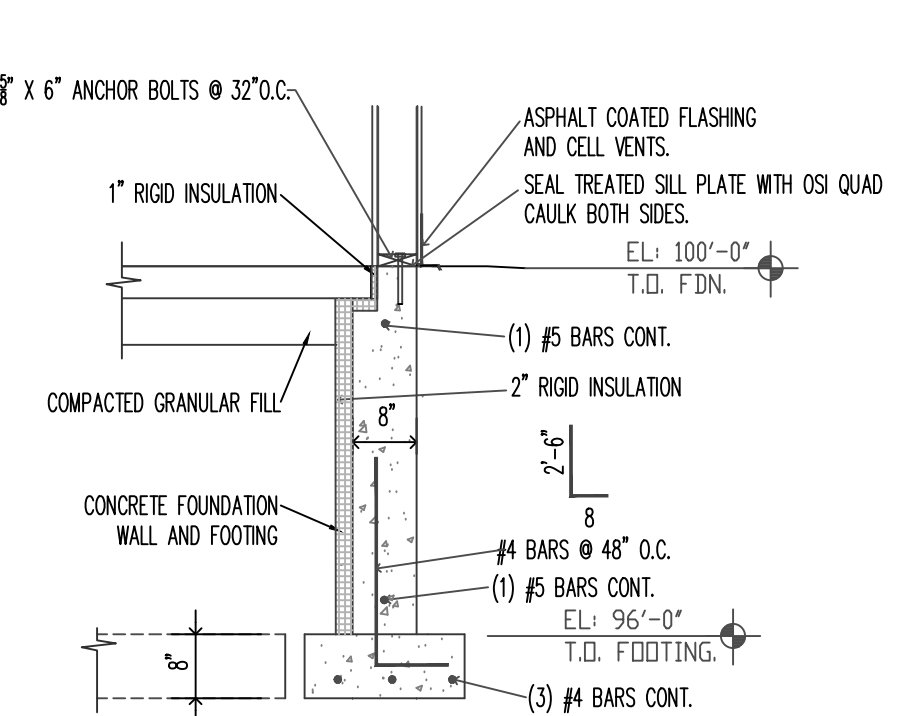
1 FOUNDATION PLAN
1/4"=1'-0"



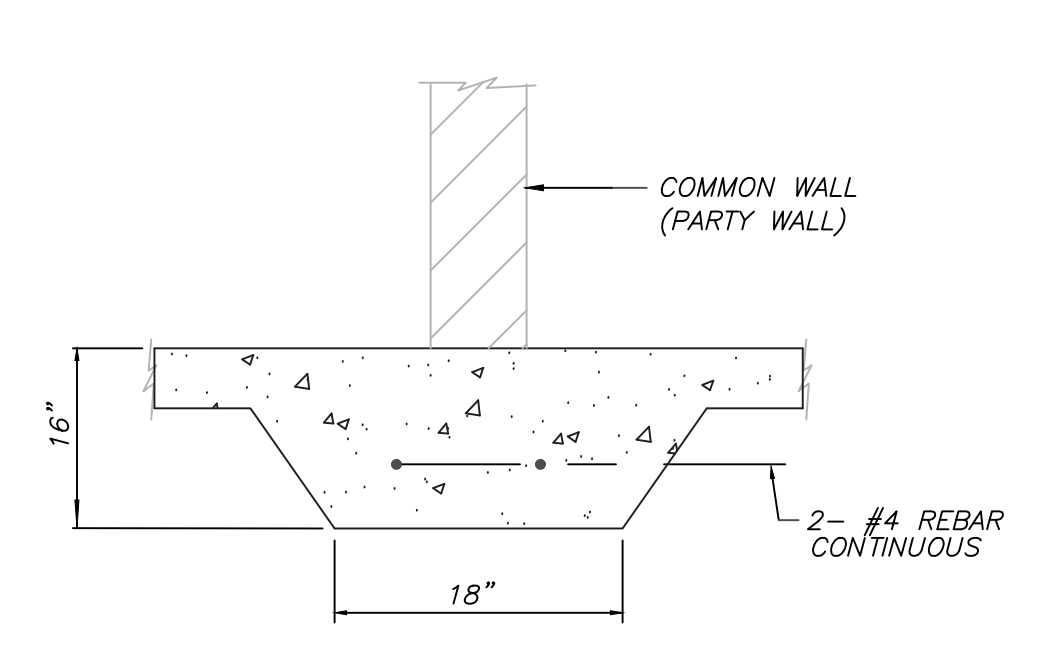
2 HAUNCH DETAIL
1/2"=1'-0"



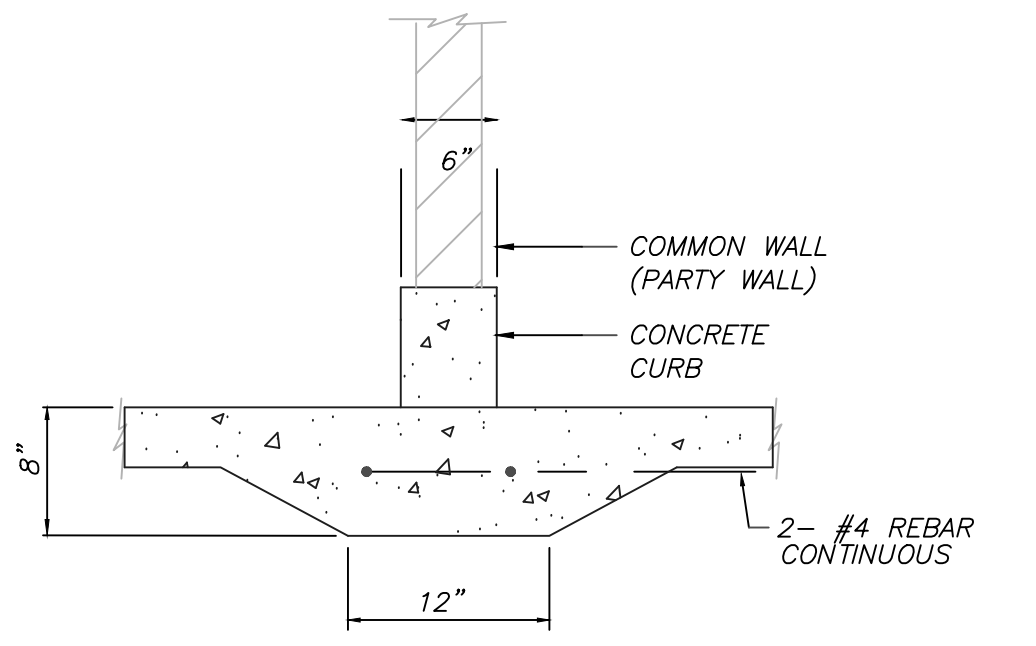
3 ENTRY/PORCH DETAIL
1/2"=1'-0"



4 EXTERIOR WALL DETAIL
1/2"=1'-0"



5 PARTY WALL DETAIL
1/2"=1'-0"



6 GARAGE CURB DETAIL
1/2"=1'-0"

LEGEND

- NEW DOOR
- EXISTING DOOR
- DEMO WALL
- EXISTING WALL
- NEW WALL
- RECESSED DOWNLIGHT
- PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- ELECTRICAL OUTLET
- LIGHT SWITCH
- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

NOTES & SPECIFICATIONS:

DIMENSIONS ARE TO ROUGH FRAME FACE OF STUD

LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, ETC. SHALL BE LOCATED NO HIGHER THAN 48" ABOVE FLOOR AND NO LOWER THAN 15" ABOVE FLOOR OR OTHERWISE NOTED.

2 ROWS OF BRIDGING AT ALL FLOOR JOISTS OR PER MANUFACTURERS 2x6 FRAMING @ ALL EXTERIOR WALLS.

ALL EXTERIOR LINTELS TO BE (3) 2x 12 U.N.O.

ALL WINDOWS TO BE ANDERSON ALUM CLAD WOOD INTERIOR WINDOWS, LOW E ARGON FILLED OR EQUAL AS APPR'D BY OWNER. VERIFY ALL R.O. WITH FINAL ORDER PRIOR TO FRAMING.

6" HARDI PLANK WINDOW SURROUNDS AT FRONT ELEVATION, 4" PLANK SURROUNDS AT SIDE AND REAR ELEVATION WINDOWS.

TRIPLE STUD AT ALL LINTELS U.N.O.

8'-0" FLAT CEILING UNLESS NOTED OTHERWISE.

LOAD BEARING WALL

SHEAR WALL NOTES: PER UDC 21.25(9)(C)5. FIG. 21.25K

PROVIDE 1/2" OSB WIND BRACING AT ALL CORNERS TO 4'-0" EACH DIRECTION. NAIL PATTERN AT 12" O.C. FIELD, 6" O.C. AT EDGES.

ALL AREAS SHOWN AS HATCH ON PLAN

NOTE: ALL EXTERIOR WALLS TO USE 1/2" OSB WITH NAIL PATTERN 12" O.C. FIELD AND 6" O.C. EDGES

NOTE: ALL INTERIOR WALLS TO USE 1/2" DRYWALL WITH NAIL PATTERN 12" O.C. FIELD AND 6" O.C. EDGES

STAIR DESIGN

MAXIMUM RISER HEIGHT. = 7.75"

MINIMUM TREAD SIZE = 10"

TREADS AND RISERS DIMENSION MUST BE EQUAL SIZE FOR EACH STEP.

COMMENTS DATE

4 UNIT RESIDENCE
SOMERS, WI

PRINCIPAL IN CHARGE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED: DATE: 05/28/2025
SHEET DESCRIPTION

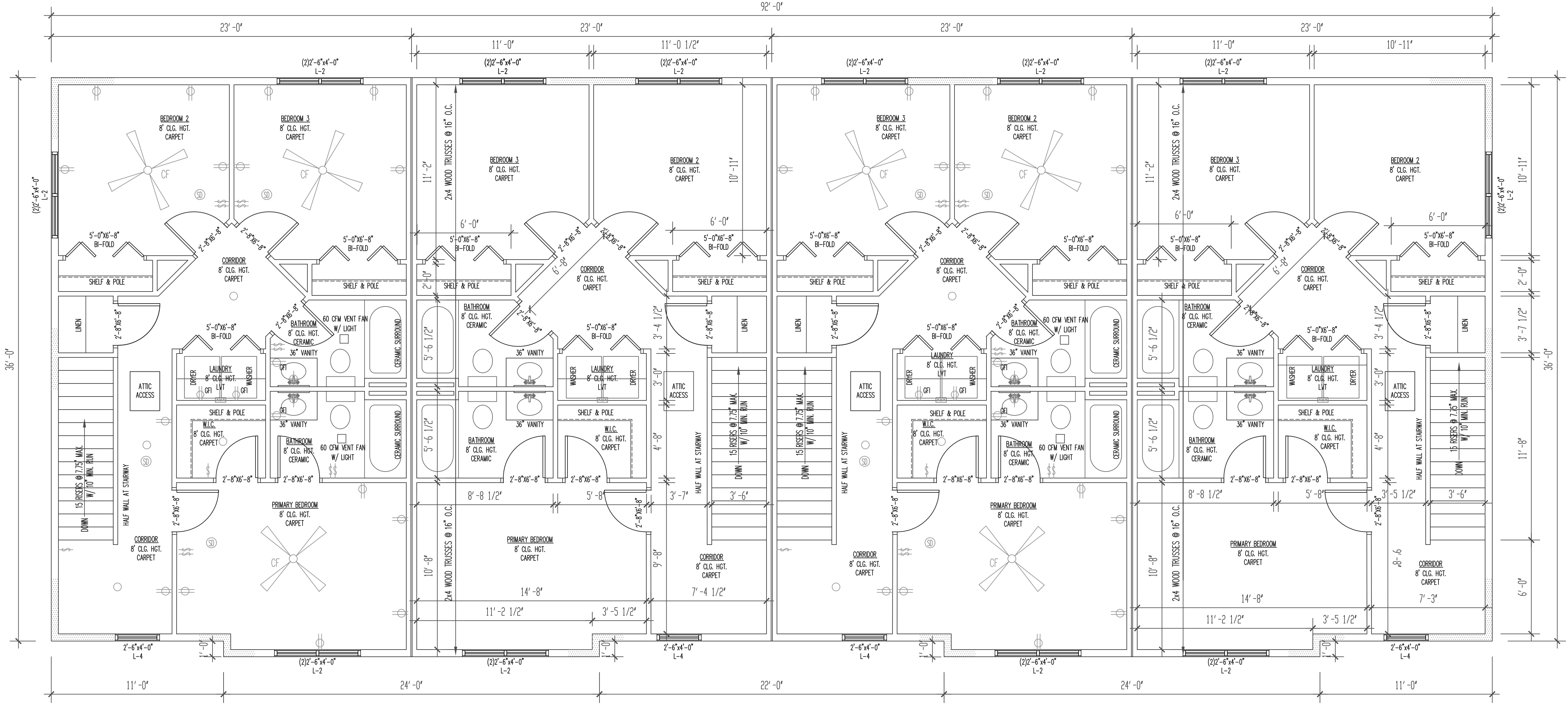
FOUNDATION PLAN

SCALE: VARIES
PROJECT NO.:
SHEET NO.: A1.0



TGAR GROUP, Inc.

ARCHITECTURE * ENGINEERING * CONSTRUCTION
DESIGN BUILD
1213 Fifty-Fifth Street
Kenosha, Wisconsin 53140
Ph: (262) 818-4620
E-mail: tony@tgar.biz



1 SECOND FLOOR PLAN
1/4"=1'-0"

LEGEND

- NEW DOOR
- EXISTING DOOR
- DEMO WALL
- EXISTING WALL
- NEW WALL
- RECESSED DOWNLIGHT
- PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- ELECTRICAL OUTLET
- LIGHT SWITCH
- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

LINTEL SCHEDULE: PROVIDE QUAD STUDS @ BEARING POINTS EA. SIDE

- L-1 </math> 6'-0" LENGTH = (3) 1.75" x 14" T&A MICROLAM
- L-2 </math> 5'-0" LENGTH = (3) 1.75" x 11-7/8" T&A MICROLAM
- L-3 </math> 4'-0" LENGTH = (3) 1.75" x 11-1/4" T&A MICROLAM
- L-4 </math> 3'-0" LENGTH = (3) 1.75" x 9-25/32" T&A MICROLAM

PROVIDE 4x4" x 3/8" BRK ANGLE BOLT TO WOOD HEADER
W/ 1/2" LAG BOLTS @ 12" O.C. AT BRK OPENINGS.

NOTES & SPECIFICATIONS:

DIMENSIONS ARE TO ROUGH FRAME FACE OF STUD

LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, ETC. SHALL BE LOCATED NO HIGHER THAN 48" ABOVE FLOOR AND NO LOWER THAN 15" ABOVE FLOOR OR OTHERWISE NOTED.

2 ROWS OF BRIDGING AT ALL FLOOR JOISTS OR PER MANUFACTURERS 2x6 FRAMING @ ALL EXTERIOR WALLS.

ALL EXTERIOR LINTELS TO BE (3) 2x 12 U.N.O.

ALL WINDOWS TO BE ANDERSON ALUM CLAD WOOD INTERIOR WINDOWS, LOW E ARGON FILLED OR EQUAL AS APPR'D BY OWNER. VERIFY ALL R.O. WITH FINAL ORDER PRIOR TO FRAMING.

6" HARDI PLANK WINDOW SURROUNDS AT FRONT ELEVATION, 4" PLANK SURROUNDS AT SIDE AND REAR ELEVATION WINDOWS.

TRIPLE STUD AT ALL LINTELS U.N.O.

8'-0" FLAT CEILING UNLESS NOTED OTHERWISE.

LOAD BEARING WALL

SHEAR WALL NOTES: PER UDC 21.25(9)(C)5. FIG. 21.25K

PROVIDE 1/2" OSB WIND BRACING AT ALL CORNERS TO 4'-0" EACH DIRECTION. NAIL PATTERN AT 12" O.C. FIELD, 6" O.C. AT EDGES.

ALL AREAS SHOWN AS HATCH ON PLAN

NOTE: ALL EXTERIOR WALLS TO USE 1/2" OSB WITH NAIL PATTERN 12" O.C. FIELD AND 6" O.C. EDGES

NOTE: ALL INTERIOR WALLS TO USE 1/2" DRYWALL WITH NAIL PATTERN 12" O.C. FIELD AND 6" O.C. EDGES

STAIR DESIGN

MAXIMUM RISER HEIGHT. = 7.75"
MINIMUM TREAD SIZE = 10"
TREADS AND RISERS DIMENSION MUST BE EQUAL SIZE FOR EACH STEP.

COMMENTS DATE

4 UNIT RESIDENCE SOMERS, WI

PRINCIPAL IN CHARGE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED: _____ DATE: 05/28/2025

SHEET DESCRIPTION

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

PROJECT NO.: _____ SHEET NO.: A3.0



THREE UNIT MULTIFAMILY
SOMERS, WI
MAY 28, 2025

CONCEPTUAL RENDERING



KENOSHA COUNTY

Shelly Billingsley, Director
Department of Public Works &
Development Services

Andy M. Buehler, Director
Division of Planning & Development

MEMORANDUM

TO: Jim Hurley, Village of Somers Administrator
FROM: Luke Godshall, Senior Land Use Planner
DATE: 12-02-25
RE: Proposed Residential Development – Rasmussen Property

Project: Rasmussen property residential development
Developer: Newport Development
Parcel(s): 83-4- 223-062-0200

Proposed Use: Residential subdivision plat consisting of 40 single-family Lots and condominium plat including 16 townhouses (32 units).

Sanitation: To be served by sanitary sewer & water

Environmental Factors: Floodplain, Wetlands, Navigable Waterway

Existing Land Use: Suburban-Density Residential, PEC, Nonfarmed Wetland, Other Conservancy Land to be Preserved

Proposed Land Use: Medium-Density Residential, Suburban-Density Residential, PEC, Nonfarmed Wetland, Other Conservancy Land to be Preserved

Current Zoning: A-2, C-2
Proposed Zoning: R-4.5, R-2, R-8, C-2, C-1

Project Overview:

The Petitioners are seeking conceptual review comments from the Plan Commission of a proposed residential development, located on the south side of STH 195 (1st Street), just east of CTH “Y” (22nd Avenue). The proposed residential development would consist of 40 traditional single-family residential lots and a condominium component consisting of 16 duplex/townhome buildings (32 units) for a total of 72 dwelling units.

Planner Comments:

The developer intends to subdivide the existing parcel via the subdivision platting process (preliminary and final plats) to create the 40 single-family Lots, Outlot, and public streets as depicted on the submitted conceptual site plan. Additionally, a condominium plat would be used to create the proposed 32 condominium units.

The developer proposes an R-4.5 zoning district for all but two of the single-family Lots. R-4.5 zoning will require a land use plan amendment into the ‘Medium-Density Residential’ land use category. This land use

category would also allow for the R-8 Urban Two-Family Residential District, which staff would recommend for the townhome condominium areas of the site. All Lots shown appear to meet the minimum R-4.5 and R-8 zoning standards for lot area and width/frontage. If a condominium plat is used for the townhouse buildings, the 16 individual Lots as shown on the site plan would not be necessary. Instead, these buildings could be located on three lots (i.e. TH1 thru TH8 would be located on one lot, TH9 thru TH13 on one lot, and TH14 thru TH16 on one lot).

Lots 24 & 25 shown on the site plan are proposed to be zoned R-2 which aligns with the current land use plan designation of 'Suburban-Density Residential'. The petitioner has indicated these Lots are intended to be retained by the Rasmussen's who wish to build homes here. Lot 24 is shown with only 65' of frontage along the cul-de-sac curve which is less than the minimum 75' allowed for Lots on curve in the R-2 district. This will need to be revised on future plans to show conformance with the R-2 district standard.

The development site contains floodplain, wetlands, and areas of steep slopes at the southern end of the site, as well as wetlands and a navigable waterway running along the western portion, and through the southern end, of the site. These areas should be placed into the C-1 and C-2 conservancy zoning districts.

The proposed subdivision would be served by a proposed street network which includes one entrance from STH 195 (1st Street), the location of which will fall under the jurisdiction of WisDOT. The site plan provides for a future street connection to unplatted lands to the east of the development site, which are shown on the Village of Somers comprehensive land use plan to be slated for suburban-density single-family residential development. Staff would recommend the petitioner shift the location of the stubbed street (shown south of Lot 26 on the submitted site plan) so that when extended eastward it extends into just one parcel instead of into two separate parcels with separate ownerships as would be the case if extended east in its current location.

The submitted materials also include several examples of the types of homes that could be expected to be constructed within this development. Based on the examples provided it appears that each building type would likely meet minimum Village zoning standards for square footage, height, roof pitch, etc.

- **Necessary Applications/Approvals for this project would include:**
 - Land Use Plan Amendment
 - Rezoning
 - Land Division applications (for subdivision and condominium plats)
 - Stormwater management plan
 - WisDOT approval of the proposed street connection to STH 195

November 24, 2025

Mr. Jim Hurley
Village/Town Administrator
Village/Town of Somers
7511 12th Street
Kenosha, WI 53144

Re: the Newport Group submittal of Concept Plan – Hwy KR – Somers

Mr. Hurley,

Newport Development is pleased to be submitting for the Village's Concept review and approval the Rasmussen property. Several months ago, Ray Leffler and I met with the Village Staff and County Planning Officials to discuss this property in Somers and its development potential. The property, being part of an estate, is located off Hwy KR, east of 22nd Avenue. It consists of 43.30 gross acres, most of which has been used for Agriculture. There is a significant wetland and environmental corridor area in the southern portion of the property. The Tax key is 83-4-223-062-0200 and owned by David and Scott Rasmussen, heirs of the estate.

The property is suggested for residential development in the Village of Somers Master Land Use Plan.

During the initial meeting several options for this parcel were discussed. Mr. Leffler expressed an interest in using a portion of the property for a Condominium Project using the 2-unit model that has been highly successful for Newport in Caledonia at the Briarwood Condominium project and the newly developed Villas of Coach Hills in the Village of Mount Pleasant. The Abby Model used for these projects is attached for your reference. In the Concept Plan the condominiums have been placed in the front of the site as a buffer to KR and creates 16 lots and 32 units. Managed by a Condominium Homeowner Association and Declaration of Restrictions, each unit is owned fee simple and shares the expenses of the common areas.

In addition, both the Village and Mr. Leffler wanted to bring single family into the project. It was decided that using R-4.5 requiring 12,000 sq ft minimum lots would be the most efficient and reasonable.

Finally, the areas in the southern portion consisting of steep slopes, environmental corridors and wetlands were seen as difficult to develop and were over 10% of the project area. After our meeting at the Village, in discussions with the heirs, both brothers want to retain ownership and build homes on the family site. That created Lots 24 & 25 for the heirs which conform to R-2 zoning of 1 acre minimum.

The breakdown is as follows:

Site Gross Area	43.30 Acres	
Two family lots	7.90 Acres	32 Units
Single Family R4.5	19.56 acres	38 Units
Single Family R-2	8.84 acres	<u>2 Units</u>
Wetlands/ponds	<u>7.00 acres</u>	
Totals	43.30 Acres	72 Units

Newport Development has been creating residential communities in Southeast Wisconsin for decades. Recently developed a community in Yorkville called Yorkshire Highlands. That large lot community has 15 lots surrounded by acres of farmed open space. At the 2025 Parade of Homes, the model Newport Builders submitted was reviewed by over 400 people over the 2 weekends and won awards for Best Craftsmanship and Best Curb Appeal. Those lot prices start at \$150,000 and the homes are primarily custom and range up to and over 1 million dollars.

Newport is the proud developer behind Prairie Pathways in Caledonia – a 300-lot subdivision, we just completed phases 3, 4 & 5 of 6 phases. Christina Estates Addition #1 and Christina East – single family more moderately priced lots with lot & home packages starting at \$500,000.

Their 2 most recent condominium projects; Briarwood of Caledonia – 30 units sold out at this time. Villas of Coach Hills in Mount Pleasant – 19 units – Building permits being pulled for the first 6 units. Reservations were in place from the start. Prices range from \$479,000 to \$489,000.

Newport’s intention is to complete the remainder of its due diligence and civil engineering and would be poised to move forward with development of the site immediately as those items progress.

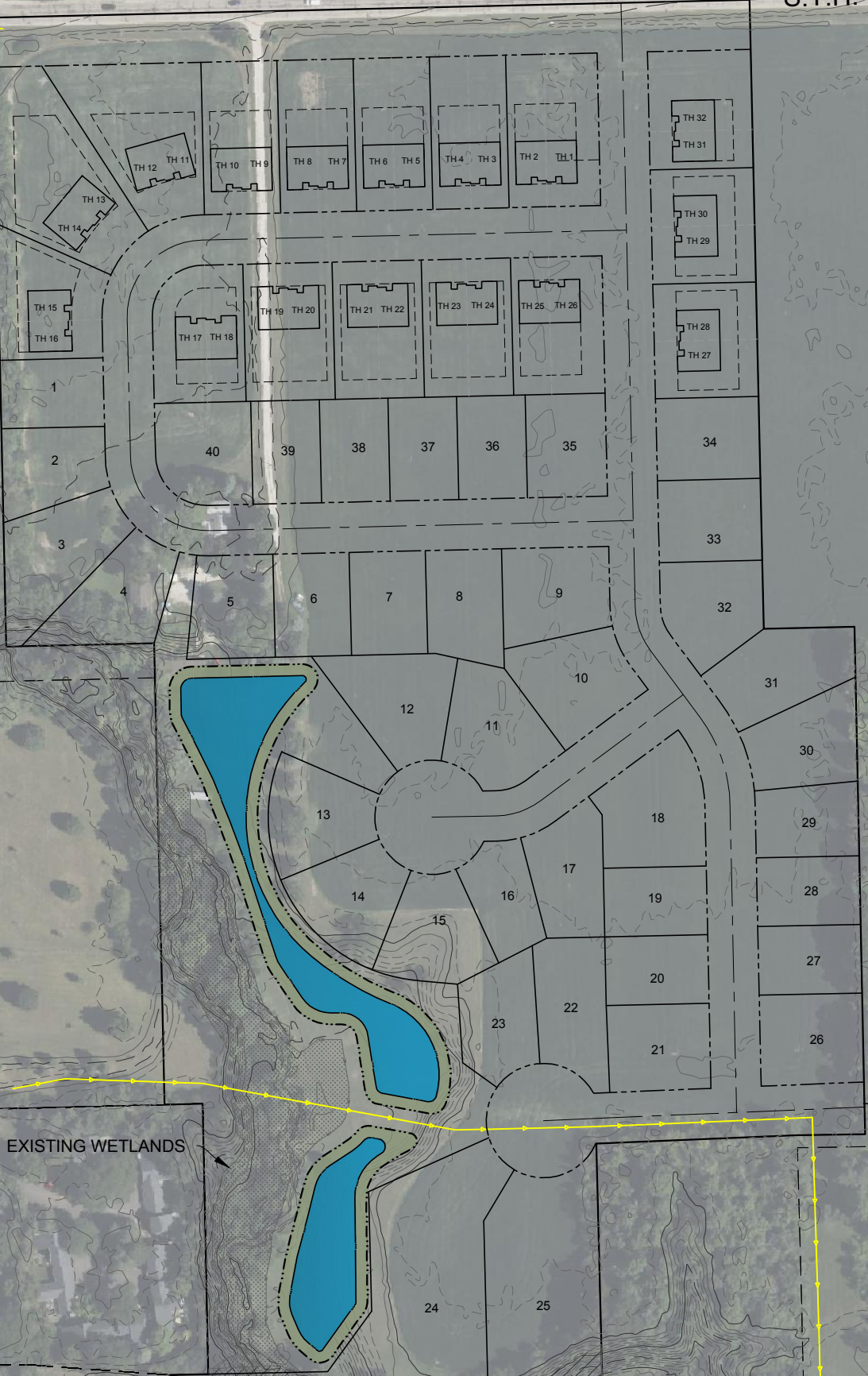
I hope this has been helpful to you, we look forward to answering your questions. Please let me know what else you may need prior to the meeting.
Thank you,

Respectfully Submitted,

Nancy Washburn
Land Development Administration, LLC – agent for Newport Development

S.T.H. 195 (KR)

22ND AVE



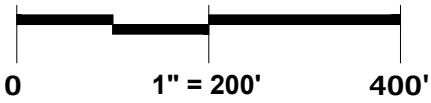
EXISTING WETLANDS

PEC

FLOODPLAIN



GRAPHICAL SCALE (FEET)



SITE DATA

SITE GROSS AREA*	43.30 AC
TWO FAMILY LOTS	32
SINGLE FAMILY LOTS (R-4.5)	38
SINGLE FAMILY LOTS (R-2)	2

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RASSMUSSEN PROPERTY | CONCEPT v2

8.19.25

S.T.H. 195 (KR)

22ND AVE



O.L. 1
248,252 SF

EXISTING WETLANDS

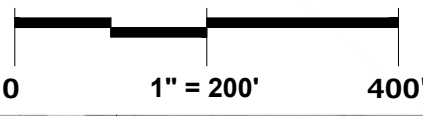
PEC

FLOODPLAIN



NORTH

GRAPHICAL SCALE (FEET)



SITE DATA

SITE GROSS AREA*	43.30 AC
TWO FAMILY LOTS	32
SINGLE FAMILY LOTS (R-4.5)	38
SINGLE FAMILY LOTS (R-2)	2

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RASSMUSSEN PROPERTY | CONCEPT v3

10.30.25

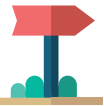
PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM

PLAN | DESIGN | DELIVER

PEG JOB# 6686.00

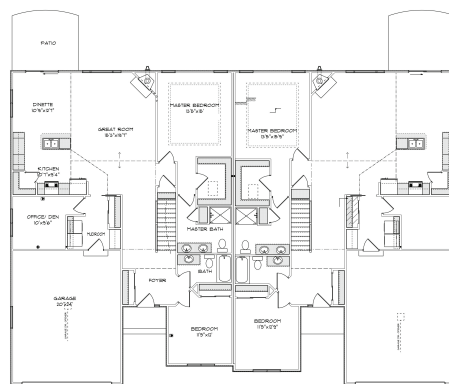
ABBEY SIDE-BY-SIDE CONDOMINIUMS IN BRIARWOOD IN CALEDONIA



Directions:

4 Mile Rd. to Candlelight Drive and continue on to Briarwood Lane (**located next to LifeSport Tennis Club**)

- ✔ 2 BEDS
- ✔ 2 BATHS
- ✔ OFFICE/DEN
- ✔ FULL BASEMENT
- ✔ 2 CAR GARAGE



1620 sq. ft.

THE ABBEY FLOOR PLAN
SCALE: 1/4" = 1'-0"

1635 sq. ft.

Units at grade starting at:

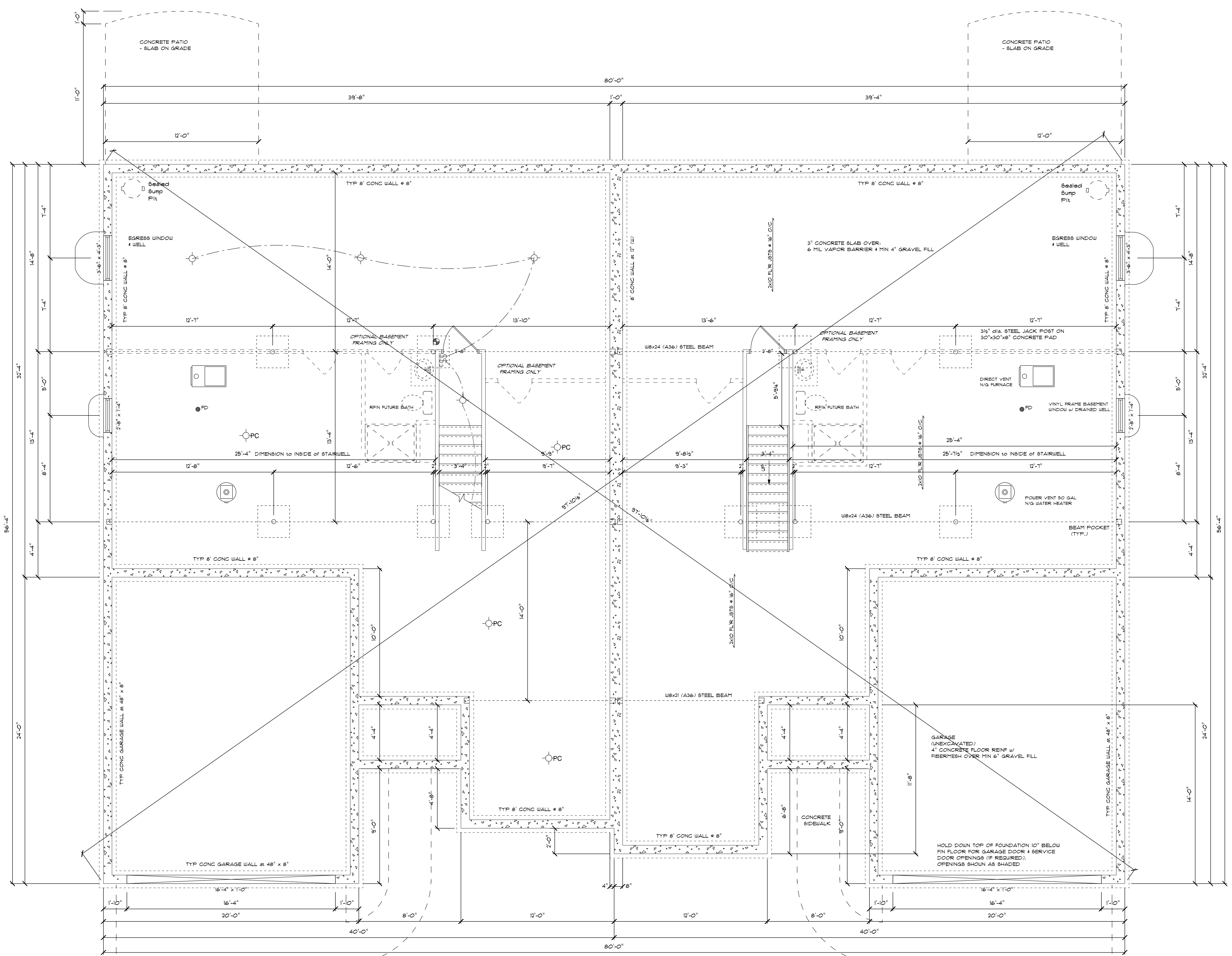
\$376,900

Prices subject to change without notice

CONTACT KIMBERLY HOOD AT

262.770.2672 kim@newport-builders.com

TO MAKE YOUR APPOINTMENT TO SCHEDULE YOUR IN PERSON VIRTUAL TOUR AND VIEWING OF AVAILABLE INTERIOR MATERIALS.



NOTE: EGRESS WINDOW TO BE PROVIDED BY THE FOUNDATION CONTRACTOR. 5 1/2" (M42) VINYL SLIDER W/ BOUMANKEMP WHITE METAL ESCAPE WELL, W/ ESCAPE GRATE & ESCAPE LADDER, DRAIN TO FOOTING & GRAVEL. WELL DIM: 57" x 60" h x 36" d. BOTTOM OF WINDOW TO BE MAX OF 46" FROM CONC FLOOR.

GENERAL NOTES:
 -ALL DIMENSIONS ARE FROM STUD TO STUD
 -ALL EXTERIOR FRAME WALL 3/4"
 -ALL INTERIOR FRAME WALL 3/4"
 -ALL EXTERIOR HEADERS 2 - 2x12'S UNLESS OTHERWISE NOTED
 -BATH FANS TERMINATE TO EXTERIOR
 -SMOKE DETECTORS ARE HARD WIRED & INTERCONNECTED
 -ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 3000 P.S.F.
 -ALL CONCRETE USED SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS (FC3000 P.S.I.)
 -ALL STRUCTURAL STEEL USED SHALL BE A.S.T.M. A-36 (FY=36000 P.S.I.)
 -ALL FRAMING MEMBERS USED FOR JOISTS, HEADERS, STRINGERS, ETC. SHALL BE SPF #2 OR BETTER. (FB#100 P.S.I.)
 -ALL FLUSH HEADERS TO JOIST CONNECTIONS SHALL BE MADE WITH EMBROUN, TEGO, OR EQUAL TO METAL JOIST ANCHORS.
 -BUILDING OFFICIAL APPROVAL OF ALL FIRE FAB WOOD TRUSSES AND BEAM MEMBERS SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER.
 -ELECTRICAL WORK SHOWN HEREIN IS INTENDED AS A GUIDE FOR BIDDING ONLY. THE ENTIRE ELECTRICAL SYSTEM IS TO BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE STATE & LOCAL BUILDING CODES.

During the course of construction, job conditions and varying methods of construction may cause slight variation from the print. The right to make slight modifications to room sizes and placement of mechanical fixtures (electrical, plumbing, hvac, etc.) is therefore reserved by the Builder and acknowledged by the Buyer(s). Every effort has been made in preparing these plans and checking them for accuracy. The contractor must check all of the details and dimensions and be responsible for the same. Great care & effort have gone into the creation and design of these blue prints and plans. However, since the designer does not provide on site consultation, supervision or control over the actual construction, it is the sole responsibility of the contractor to insure all structural members meet all applicable codes. We also assume no responsibility for any damages including structural failure due to any deficiencies, omissions or errors in the design or blueprints. The construction agent is responsible to provide all structural requirements to accommodate the design intent. Omissions of the same shall not be considered as a claim for reimbursement from the designer.

VERIFY RO'S WITH WINDOW SUPPLIER

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

APPROVED BY

NOTE: ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE DESIGNER ASSUMES NO LIABILITY FOR OMISSIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

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NEV BROOK HOMES, INC.
 8338 CORPORATE DR
 SUITE 300
 MT PLEASANT, WI 53406
 PHONE: 262-632-7373
 FAX: 262-652-8430

RESIDENCE FOR
 THE ABBEY
 LOT 174
 PRARE PATHWAYS
 CALEDONIA, WI

DATE OF ORIGINAL
 09/30/15
 DATE OF REVISION
 09/30/15

DRAWN BY:
 PLANT DESIGN LLC
 430 FAR OAKS DR
 WILLIAMS BAY, WI 53191
 PHONE: 2629493075
 FAX: 2626076207

SHEET #:
3



35/40

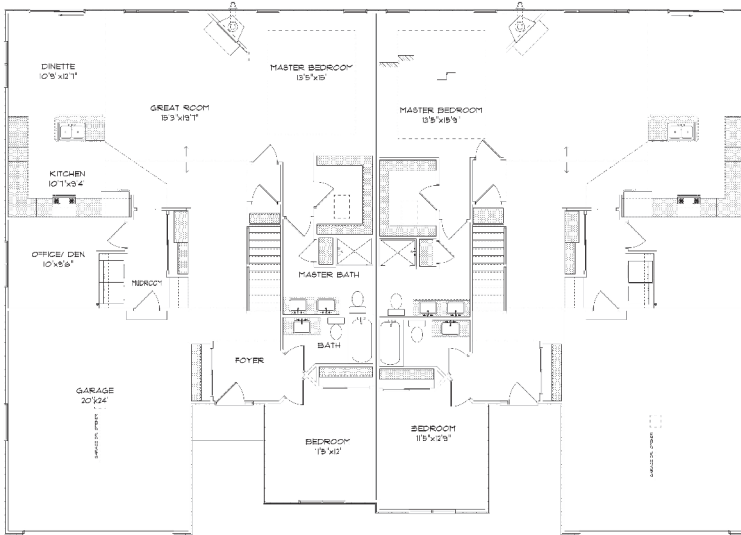
COMING SOON

THE VILLAS AT COACH HILLS

THE ABBEY SIDE BY SIDE RANCH CONDOMINIUMS



STARTING AT \$475,900



THE ABBEY FLOOR PLAN
SCALE: 1/4" = 1'-0"

HIGHLIGHTS:

- ✔ 1620/1635 Sq. Ft.
- ✔ 2 Bedrooms, 2 Bathrooms
- ✔ Office/Den
- ✔ Landscaping Included
- ✔ Full Basement
- ✔ Attached Garage
- ✔ Appliances Included

DIRECTIONS:

Convenient Mt. Pleasant location. Newman Rd. to Coachlamp, right on Brougham, and right on Independence to development.

CONTACT KIMBERLY HOOD

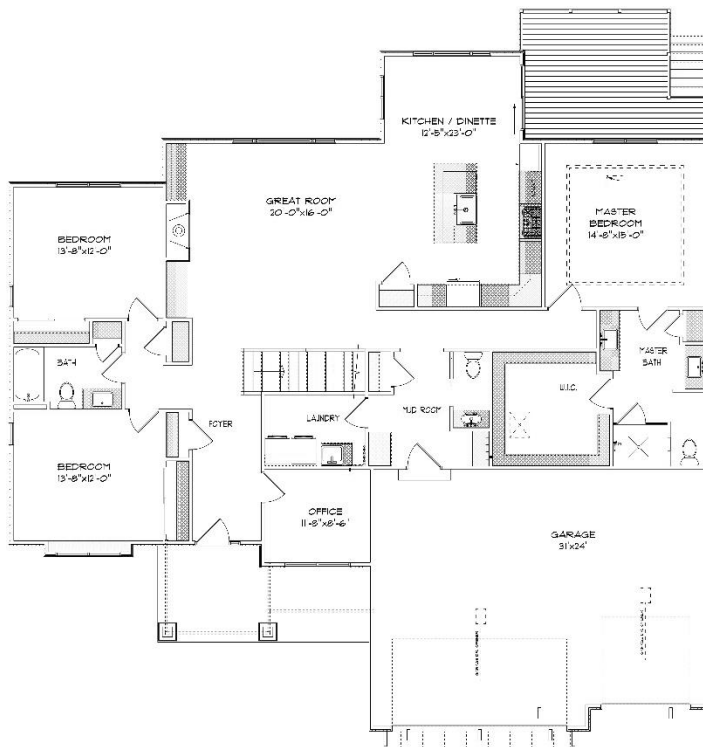
📞 262-770-2672 | ✉ kim@newport-builders.com



THE KIMBERLY



Building high quality and remarkable homes for all of your life's seasons.



Plan Highlights:

- 2226 sq. ft.
- 1 – story, ranch style
- 3 bedrooms
- 2.5 baths
- 3- car garage
- Open concept
- Large kitchen island
- Natural gas fireplace
- Office/flex room
- Master suite w/ walk-in closet
- Main floor laundry
- Width 64' Depth 62'

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**Features and specifications subject to change without notice.
Photo shown may reflect varying features, materials, and/or colors**

THE KONNOR



Building high quality and remarkable homes for all of your life's seasons



Plan Highlights

- 2437 sq. ft.
- 1.5 story
- 4 bedrooms
- 2.5 baths
- 3 car garage
- Master on 1st floor
- Open concept
- Walk-in pantry
- Flex room
- Master suite w/
Walk-in closet
- Main floor laundry
- Width 68' Depth 51'8"



Contact a Newport Builders sales representative for more information

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262-632-7373 www.newport-builders.com

THE SLOANE

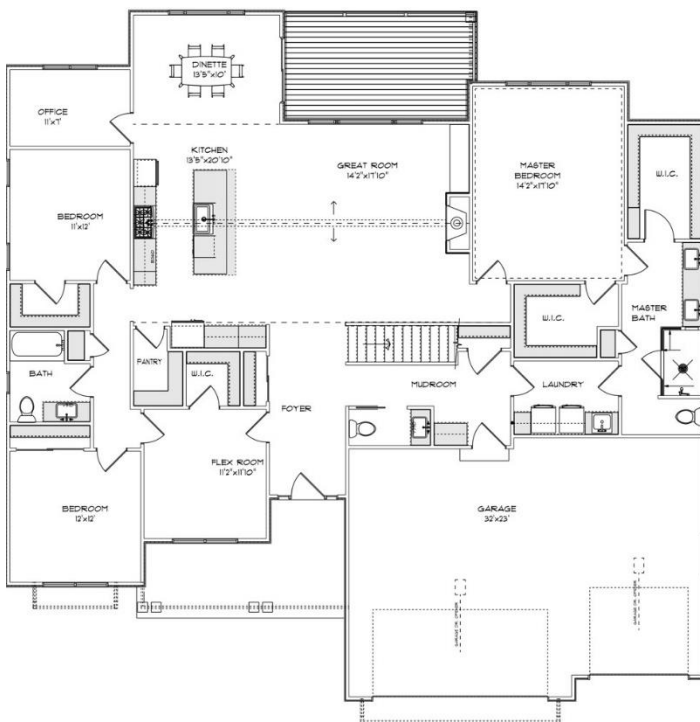


Building high quality and remarkable homes for all of your life's seasons.



Plan Highlights:

- 2425 sq. ft.
- Width: 64'-1" Depth: 63'
- Ranch home
- 3 bedrooms
- 2 ½ baths
- 3 car garage
- Flex room/den w/closet
- Office/reading room
- Large kitchen island
- Natural gas fireplace
- Vaulted ceiling in great room
- Covered deck (as shown)
- Master suite w/ two walk-in closets



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