

**Village of Somers
7511 12th Street
Somers, WI 53171**

**Special Village Work Session Meeting
Agenda
Tuesday, April 22nd, 2025
4:30 p.m.**

Village Board Work Session Meeting:	
Item #	
1	Call to Order
2	Discuss and review proposed development agreement with Somers Gateway LLC (Fueling/gasoline service station and outdoor dining project Parcel #82-4-222-073-0311)
3	Discuss and review proposed development agreement with Good Company US LLC (Hotel project Parcel # 82-4-222-073-0314)
4	Motion to convene into closed session per Wisconsin State Statute §19.85(1)(c) and (e) considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercise responsibility, specifically interim Village/Town Administrator position. (Roll call required)
5	Reconvene in Open Session (Roll call vote required)
6	The Village Board will not take action on items discussed in Closed Session
7	Adjourn

I hereby certify that as the designee of the chief elected official of the Village of Somers, I posted this notice of the April 22nd, 2025 Special Village Work Session & Agenda in 1 public place & on the Village website.

Dated this 17th day of April, 2025.

Wendy Burnette, Clerk-Treasurer

Requests from person with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at 262-859-2822 with as much notice as possible. **Notice is hereby given that members of the Village Board may participate telephonically. Notice is hereby given that members of the Town Board may be in attendance for the sole purpose of gathering information. A quorum may be present. However, no Board action will be taken.**

**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: April 15th, 2025

TO: Village President Stoner and Board of Trustees

PREPARED BY: Jason J. Peters, Administrator

AGENDA ITEM: #2 Discuss and review proposed development agreement with Somers Gateway LLC (Fueling/gasoline service station and outdoor dining project Parcel #82-4-222-073-0311)

#3 Discuss and review proposed development agreement with Good Company US LLC (Hotel project Parcel # 82-4-222-073-0314)

BACKGROUND:

In July of 2024, the Board conditionally approved the Somers Gateway project at the NE corner of CTH E and East Frontage Road. The project would include a fueling/gasoline service station with associated convenience store, restaurants and drive-throughs in addition to a hotel. Golden Oil will be constructing the convenience store and Dr. Bhatara constructing the hotel. As is the Village's standard practice, no permits to go vertical are issued until a development agreement is executed.

This fall, Golden Oil was granted a grading permit for the site. They were informed that while allowed without a development agreement they were moving forward at their own risk as a development agreement had not been executed. They choose to move forward.

On January 7th, the Board was given updates on all our development in the Village. The Board expressed concern that we have not heard from the Hotel Developer. Administration was informed that no more early start permits should be granted until the Village had received assurances that the Hotel was still coming.

On February 4th, the Board was given an update regarding progress that has been made with the Hotel Developer and the discussions with Golden Oil regarding possible TID Assistance from TID #8. As you may recall, both Golden Oil and the Hotel project indicated that they would be asking for TID assistance. In their first draft, Golden Oil had requested approximately \$7 million in TID assistance from TID #8. This is not possible within this district for three reasons. One, the increment created by the hotel and

convenience store does not create enough increment. Two, the remaining years on TID #8 does not support that high of repayment. Three, TID #8 was to be the contributing TID to the payback of Tawani's letter of credit. As a reminder, the Village is contractually obligated to pay this back by 2031. Administration worked with Ehlers to run scenarios for the payback of the letter of credit. As a reminder, this is paid back through a combination of special assessments and the use of TID increment. If no other project costs are incurred in TID #3 and TID #6, we are confident that the letter of credit can be paid off by our contractual obligation. Administration would still be cautious as to using all of TID #8 potential increment for these projects.

On February 19th the Board met in closed session to discuss what assistance they were willing to provide. Given that Golden Oil is putting in approximately \$3.25 million dollars of infrastructure for their own project, which will allow for the building of the Hotel project for provide infrastructure for two additional commercial lots, the Board was willing to offer a "Pay as you go" incentive of up to two million dollars.

Since this time, Golden Oil has worked diligently to have their plans updated. In March and early April, Golden Oil, the Village and the County worked together to come up with a solution to avoid the necessity of a drainage easement to the north. Said easement was delaying Golden Oil's final plans.

At our April 15th Work Session, the Board was presented with the Development Agreement for the Somers Gateway LLC (Fueling/gasoline service station and outdoor dining) portion of the project. The direction from the Board was that this Development Agreement would not be acted upon until "they were assured" that the Hotel Project was forthcoming. Administrator Peters explained in his memo of April 15th and at the meeting that the Hotel's development agreement was forthcoming.

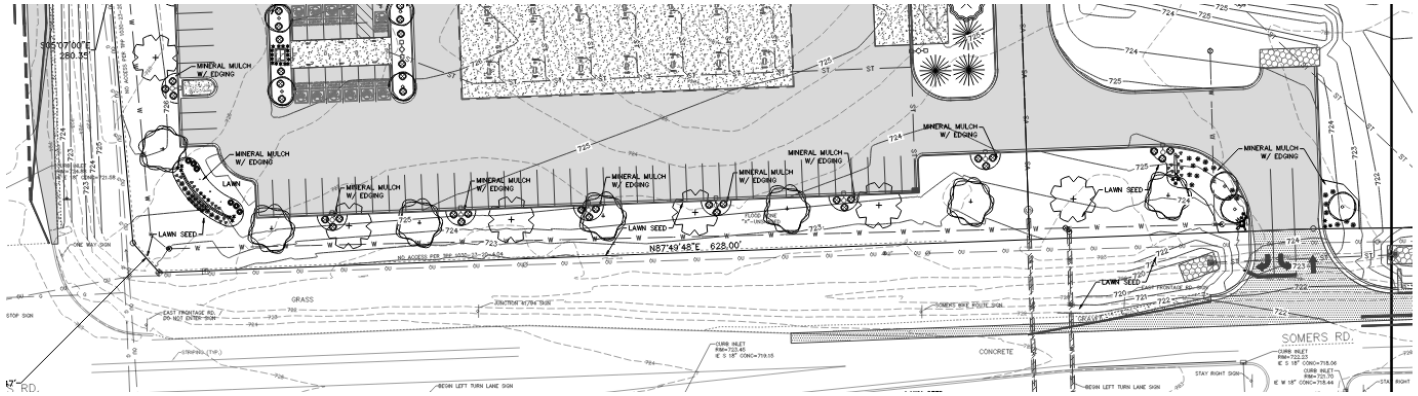
Attached you will find a draft of Golden Oil's development agreement. This draft has been provided to Golden Oil. At this time, the final exhibits have not been attached. Some minor adjustments based on comments from the County are being addressed at this time and the exhibits should be available once the Board take formal action.

Under the language of the Development agreement Golden Oil will be bringing sewer and water to the North Side of CTH E. This portion of the utility work will be publicly bid. Golden Oil will be depositing funds or providing a letter of credit for this work.

Under the Development agreement, TID #8 is willing to provide up to \$2,000,000. This \$2,000,000 will be paid from the increment created by the new convenience store, hotel and any other development that may happen. Golden Oil also guarantee that \$14,000,000 of increment will be created. This figure comes from an estimated value of the travel cent of \$4,000,000 and a value of \$10,000,000 from the Hotel. There has been a lot of conjecture as to when and whether the hotel project is coming. To put it plainly, if the hotel does not come, there is significantly less increment, and Golden Oil will receive significantly less than the \$2,000,000. Golden Oil has a huge interest in making sure this hotel project comes to fruition in TID #8.

Trustee Nelson had requested that trees be planted in a similar fashion along CTH E as the Pritzker Project. This was something that Golden Oil was agreeable to during the meetings. While the Somers Gateway Development Street trees along CTH E are not the

exact same spacing or species as Pritzker, the trees have been proposed in a similar fashion along the CTH E Corridor into Somers. Pritzker installed Red Sunset Maples and Somers Gateway is proposing an alternating pattern of Autumn Blaze Maples and Greenspire Lindens. Different species were selected to create a different, but similar visual appeal and to avoid any potential issues in the future if a tree disease were to infect one of the sites. The portion of the landscape plan is below:



We believe that this will provide the desired boulevard effect.

Concerns has been raised in the past regarding how future road maintenance issues will be handled for the projects, as the interior roads are “private roads”. Language has been added to the agreements that allow the Village to complete maintenance projects and specially assess the properties, if the property owners fail to maintain said roads.

Attached you will also find the draft of the Hotel’s development agreement. The LLC created for the Hotel is Good Company US LLC. This is a straightforward development agreement. There a no incentives provided for the Hotel. This was a part of Administration’s negotiations with both Developers. The Hotel has in the past provided the Village with evidence of their financial wherewithal to quality for financing and the Development Agreement is their last step in obtain their construction loan.

The Village Attorney was not able to provide a Development Agreement has he was taking request from Trustees to make changes to the incentives. Administration hopes to be able to provide a copy before the meeting.

If the Board is agreeable the language in the proposed Development Agreements, Administration would suggest taking action at our April 22nd Board Meeting.

ATTACHMENTS:

Somers Gateway LLC Site Plan

Somers Gateway LLC legal description

Somers Gateway LLC Renderings

Somers Gateway LLC Stormwater Management Plan

Somers Gateway LLC Photometric Plan

Somers Gateway LLC Sewers Connection Fee

Somers Gateway LLC Traffic Improvements

Somers Gateway LLC Certified Survey Map

Somers Gateway LLC Off site Utilities

Somers Gateway LLC Onsite Utilities

Somers Gateway LLC Letter of Credit

Good Company US LLC Site Plan

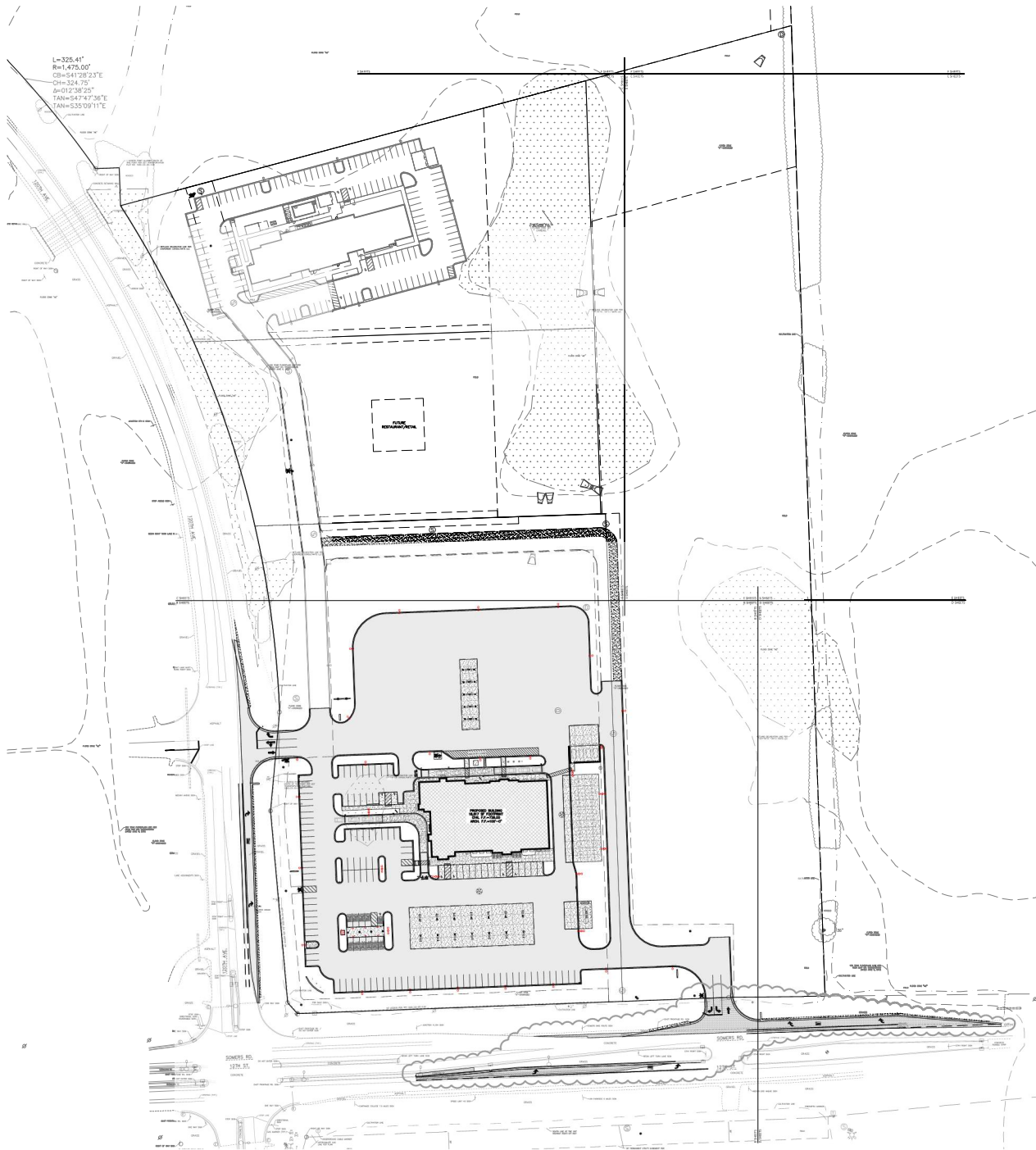
Good Company US LLC Landscaping Plan

Good Company US LLC Renderings

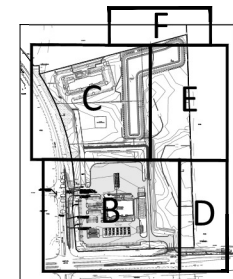
Good Company US LLC Stormwater Management Plan

Good Company US LLC Photometric Plan

Good Company US LLC Sewer plan



SPECIFICATION NOTE:
SEE SHEET CO.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



KEY PLAN
NTS



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MILWAUKEE 1000 N. 11th St Milwaukee, WI 53233 PHONE 414 224-8710 FAX 414 224-8710	WAUSAU 5000 Lake Ave Wausau, WI 54981 PHONE 715 849-3141 FAX 715 849-3141

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PROPOSED DEVELOPMENT FOR:

GOLDEN OIL - SOMERS GATEWAY CENTER

SOMERS WISCONSIN

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REVISIONS

NOV. 22, 2024	

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEIDTOR: S. LAMON
SUPERVISOR: T. RUNDE
PRELIMINARY NO.: P22188
CONTRACT NO.: 80550



SITE PLAN - OVERALL
SHEET: **C1.1A**

ISSUED FOR CONSTRUCTION

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4, NORTHEAST 1/4
& SOUTHEAST 1/4 OF THE SOUTHWEST 1/4,
SECTION 7, TOWNSHIP 2 NORTH, RANGE 22 EAST,
VILLAGE OF SOMERS, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Arlo F. and Jeanne L. Funk Trust bounded and described as follows:

Part of the Northwest 1/4, Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 7, Township 2 North, Range 22 East, Village of Somers, Kenosha County, Wisconsin being more particularly described as follows:

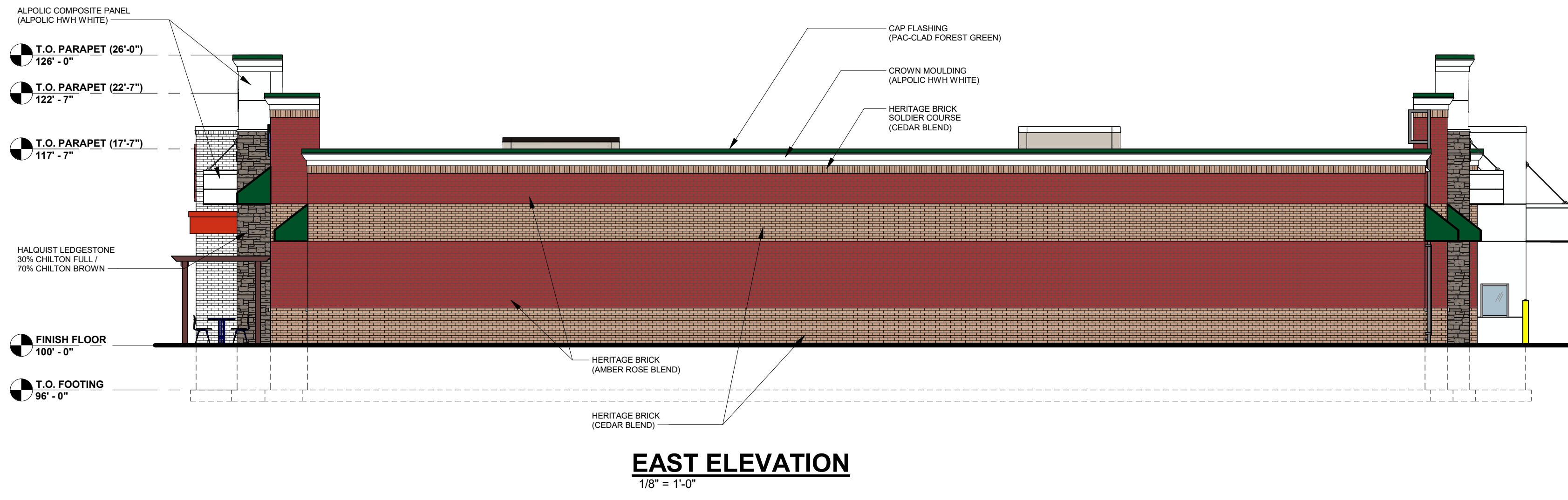
Commencing at Southeast corner of the Southwest 1/4 of said Section 7; thence North 01°-59'-09" West along the East line of said Southwest 1/4, a distance of 81.20 feet to the North right-of-way line of County Trunk Highway "E", said point being the point of beginning; thence continuing North 01°-59'-09" West along said East line, a distance of 2,570.30 feet to the Northeast corner of said Southwest 1/4; thence South 87°-47'-29" West along the North line of said Southwest 1/4, a distance of 1,151.84 feet to the East line of Certified Survey Map No. 1919, recorded in the Kenosha County Register of Deeds Office as Document No. 1038241; thence South 01°-44'-34" East along said East line, a distance of 600.00 feet to the South line of said Certified Survey Map; thence South 87°-47'-29" West along said South line, a distance of 505.73 feet to the Easterly right-of-way line of the East Frontage Road; thence Southeasterly 351.82 feet along said Easterly line on a curve to the left having a radius of 1,335.00 feet, the chord of said curve bears South 40°-14'-37" East, a chord distance of 350.80 feet; thence South 47°-47'-36" East along said Easterly line, a distance of 292.63 feet; thence North 42°-12'-24" East along said Easterly line, a distance of 10.00 feet; thence Southeasterly 325.41 feet along said Easterly line on a curve to the right having a radius of 1,475.00 feet, the chord of said curve bears South 41°-28'-23" East, a chord distance of 324.75 feet; thence North 87°-48'-38" East along said Easterly line, a distance of 34.30 feet; thence South 01°-59'-00" East along said Easterly line, a distance of 55.22 feet; thence Southeasterly 782.01 feet along said Easterly line on a curve to the right having a radius of 1,475.00 feet, the chord of said curve bears South 17°-26'-33" East, a chord distance of 772.88 feet; thence South 05°-18'-28" West along said Easterly line, a distance of 144.38 feet; thence South 05°-07'-00" East along said Easterly line, a distance of 280.35 feet; thence South 41°-56'-34" East along said Easterly line, a distance of 21.47 feet to the North right-of-way line of County Trunk Highway "E"; thence North 87°-49'-48" East along said North line, a distance of 628.00 feet; thence North 89°-22'-39" East along said North line, a distance of 140.58 feet to the point of beginning and containing 62.027 acres (2,701,904 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

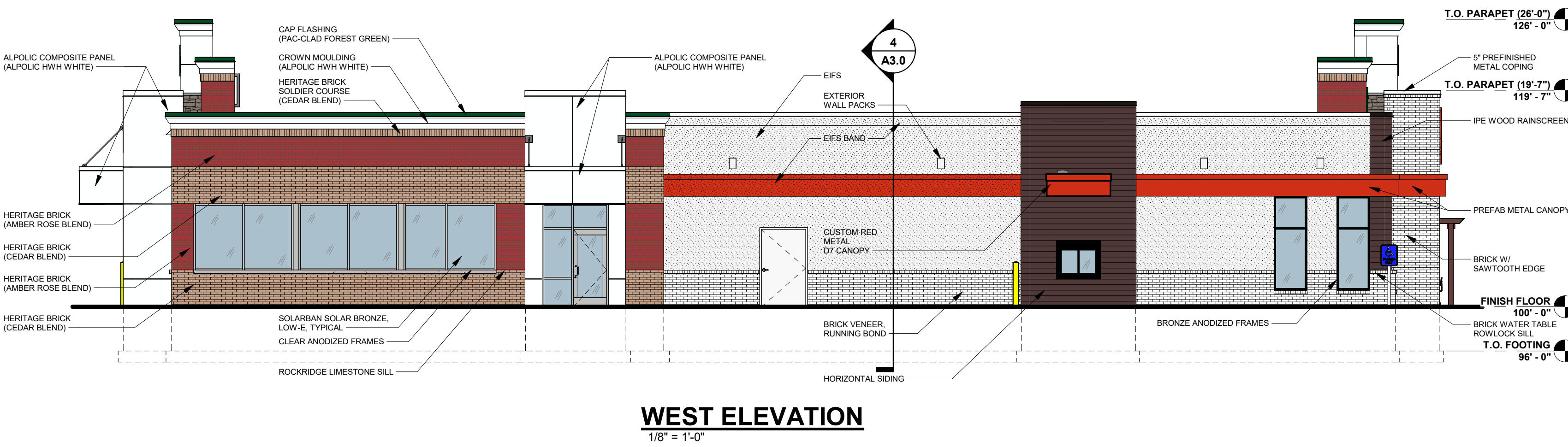
That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the Village of Somers in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 2266000

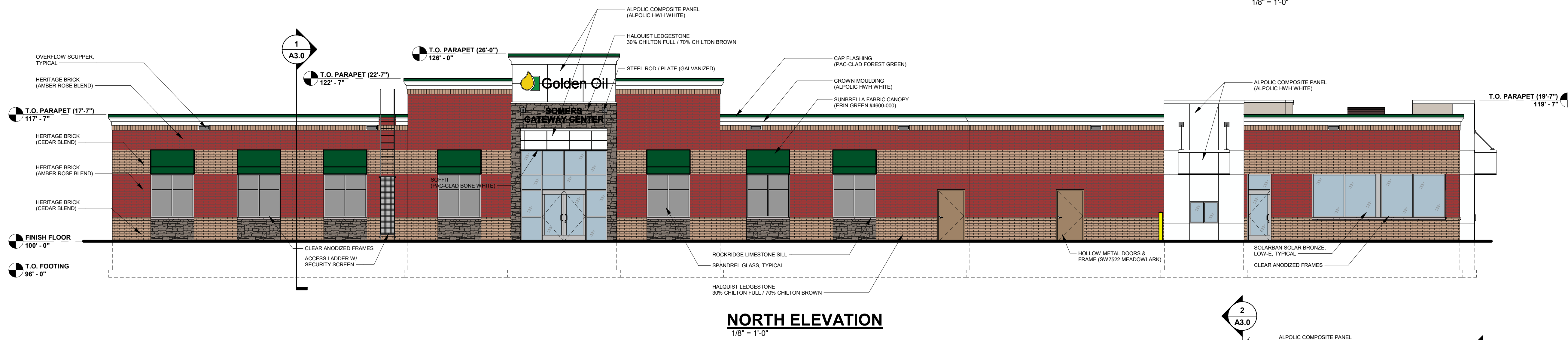
EXHIBIT D



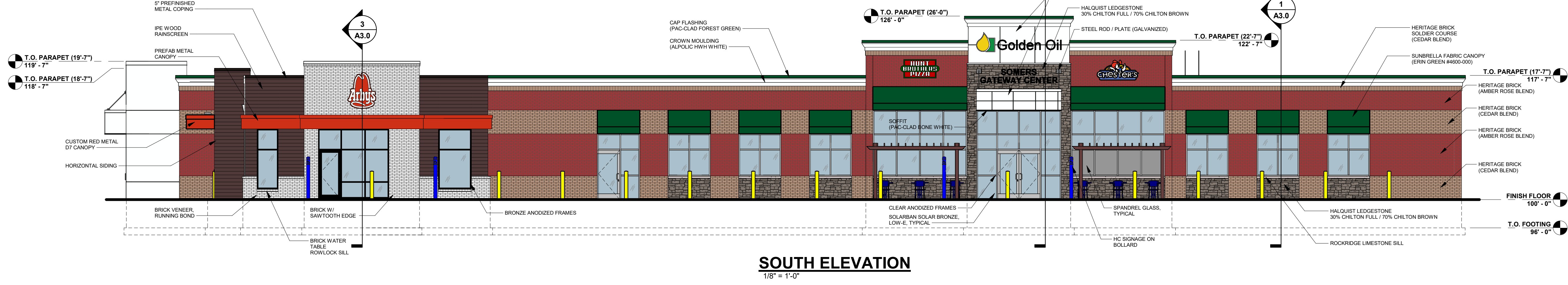
EAST ELEVATION
1/8" = 1'-0"



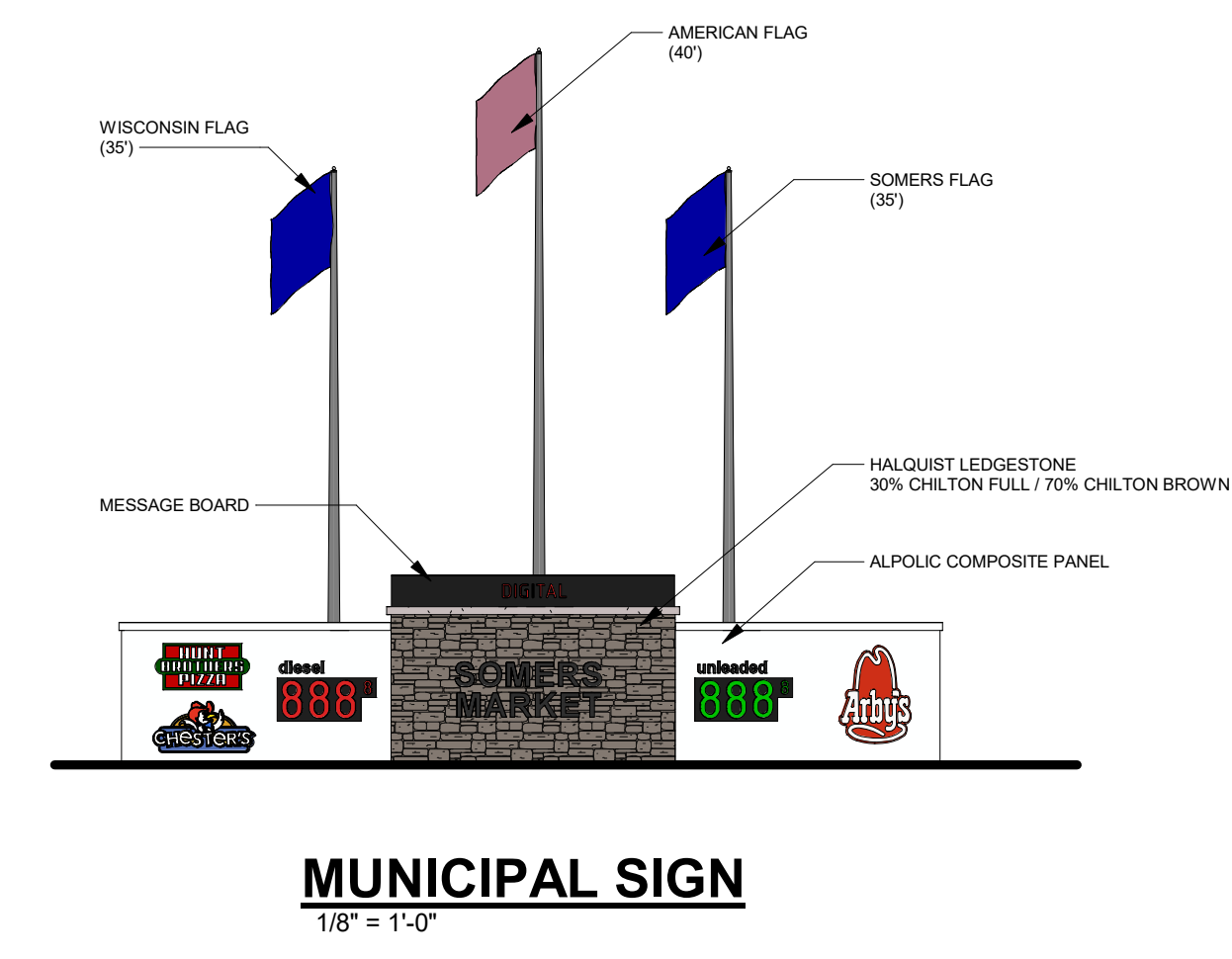
WEST ELEVATION
1/8" = 1'-0"



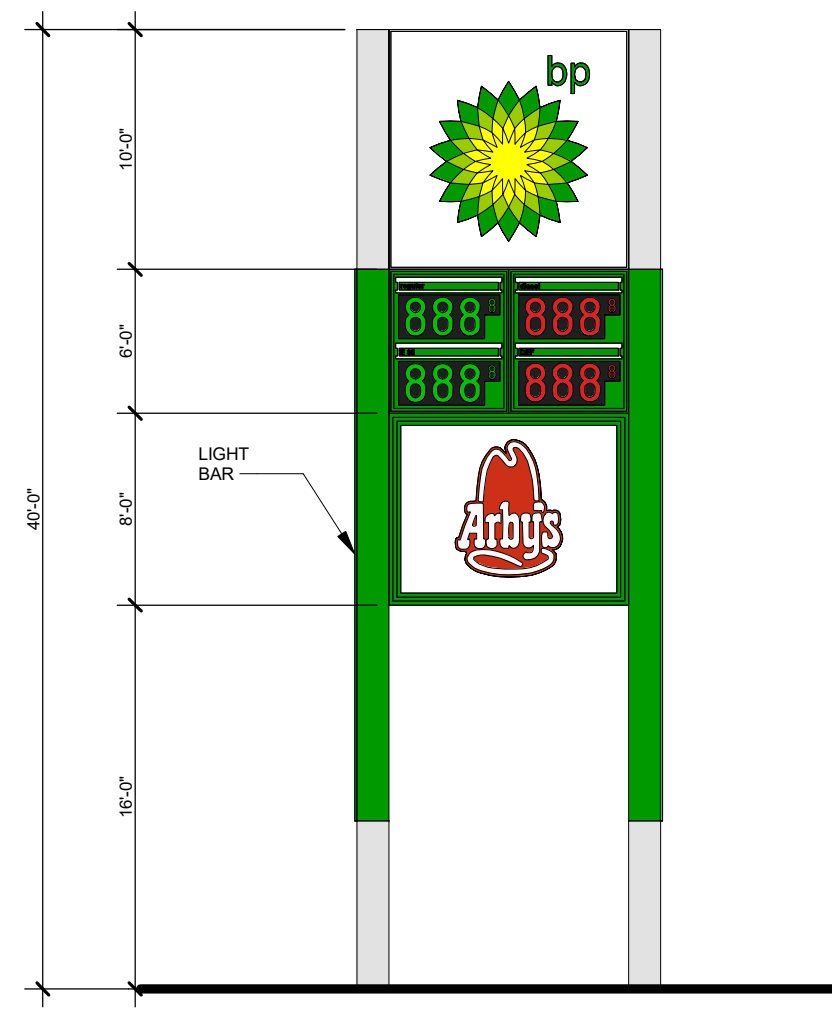
NORTH ELEVATION
1/8" = 1'-0"



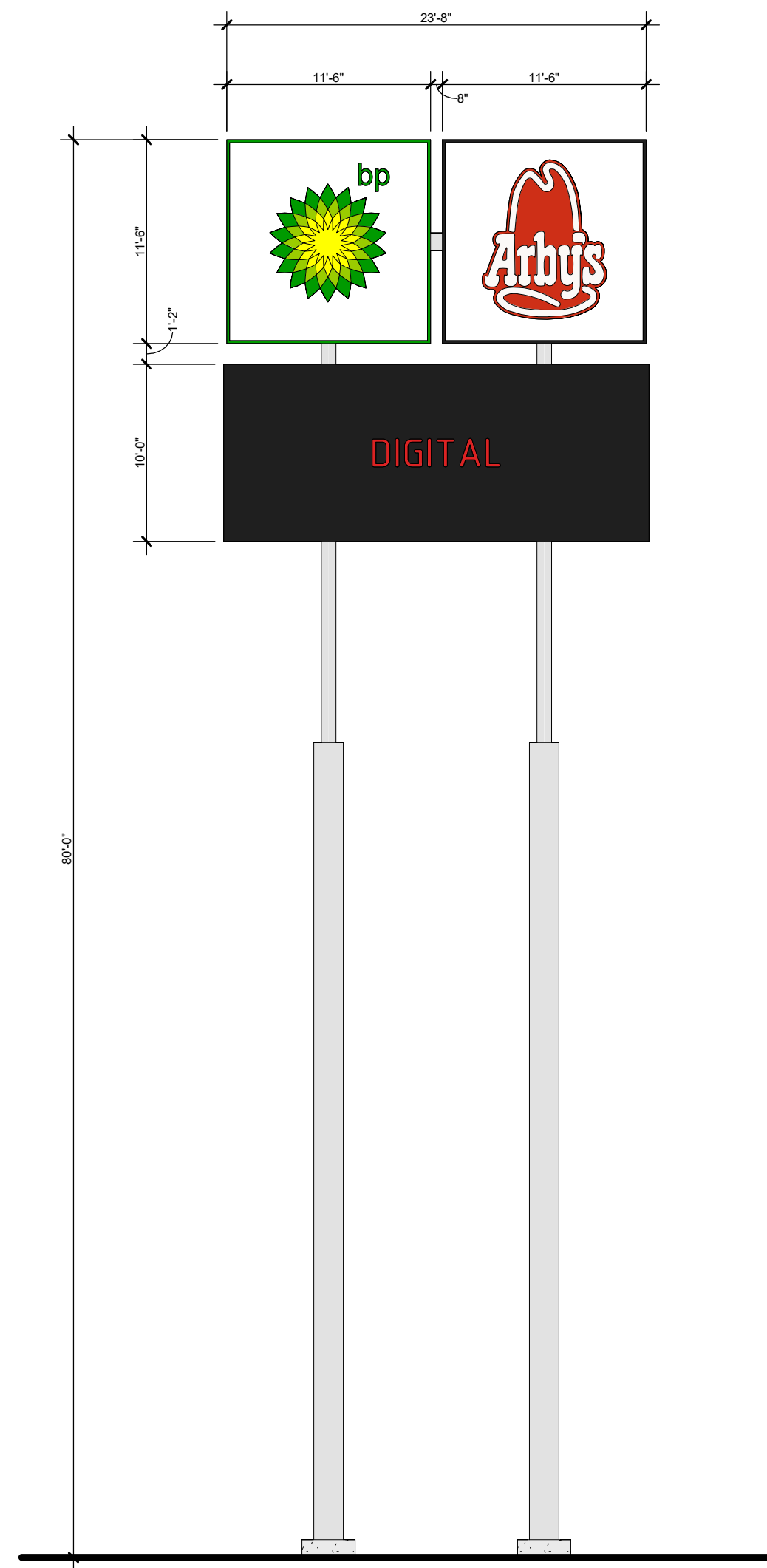
SOUTH ELEVATION
1/8" = 1'-0"



MUNICIPAL SIGN
1/8" = 1'-0"



40'-0" SIGN
1/8" = 1'-0"



80'-0" SIGN
1/8" = 1'-0"

DOOR & WINDOW VALUES			
WINDOWS:	U VALUE	0.4	
	SHGC	0.277	
	VT	0.36	
DOORS:	U VALUE	0.38	
O.H. DOORS:	U VALUE	0.108	
	(NON-SWINGING)		
DOORS:	U VALUE	0.701	
	(50% GLAZING)		
	SHGC	0.205	
	VT	0.24	

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15	04.05.2024	ACM

PROJECT MANAGER:
N. LAURENT

DESIGNER:
R. LINDSTROM

DRAWN BY:
ACM

EXPEDITOR:

SUPERVISOR:

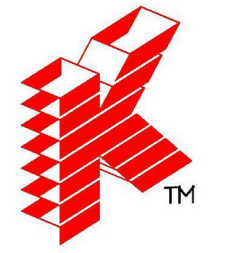
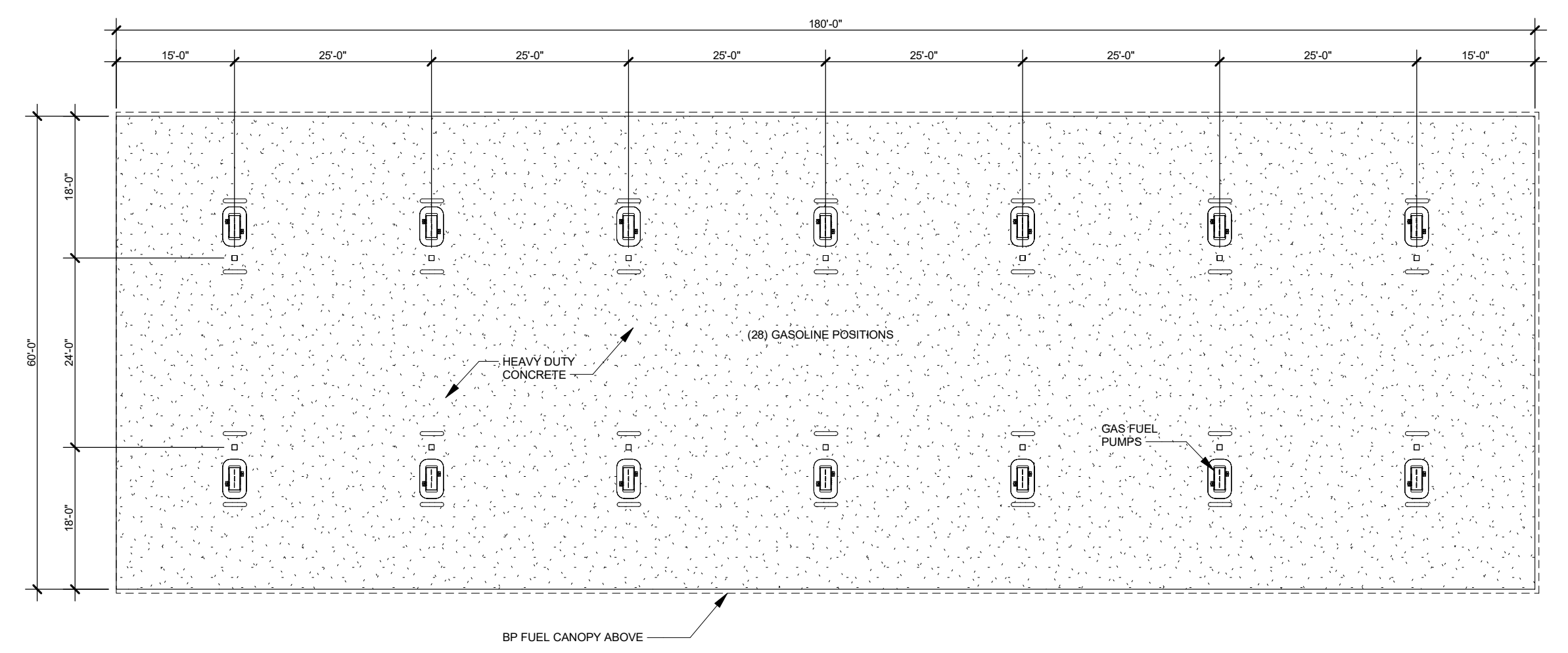
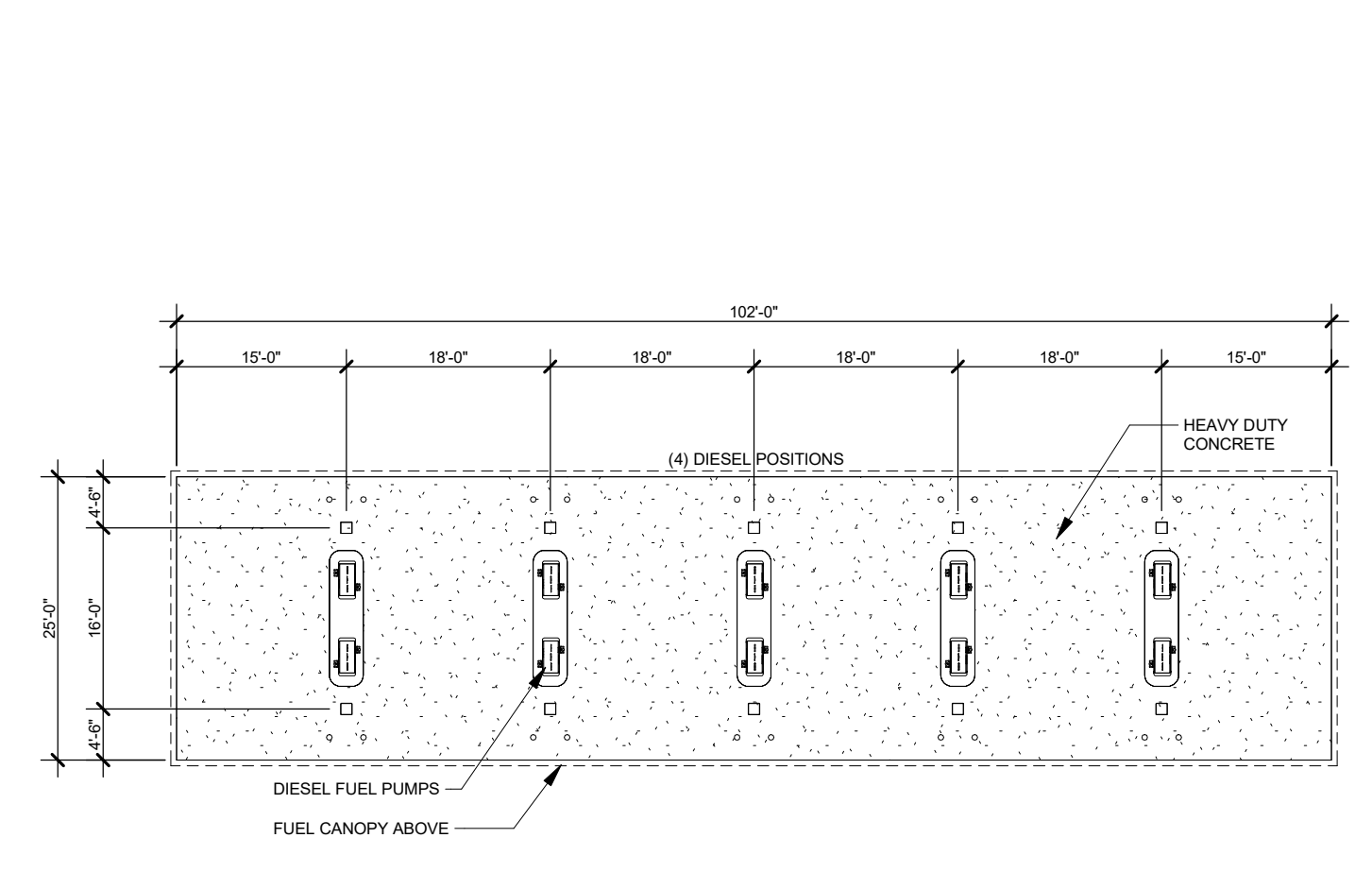
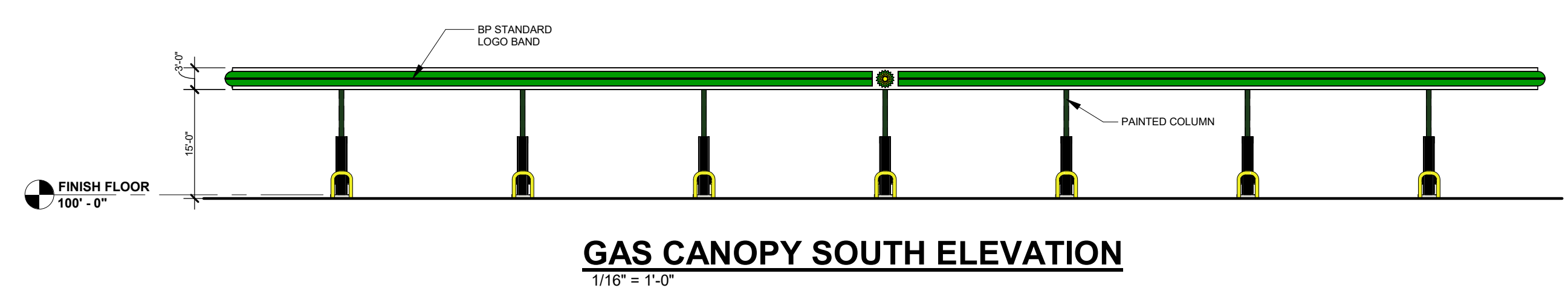
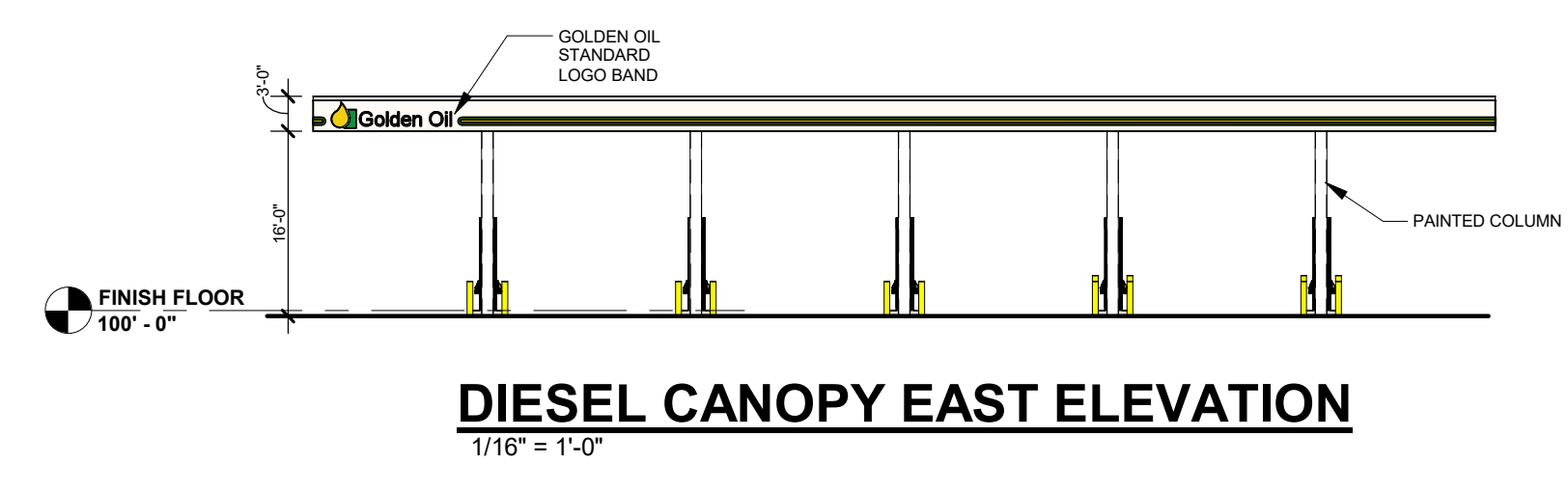
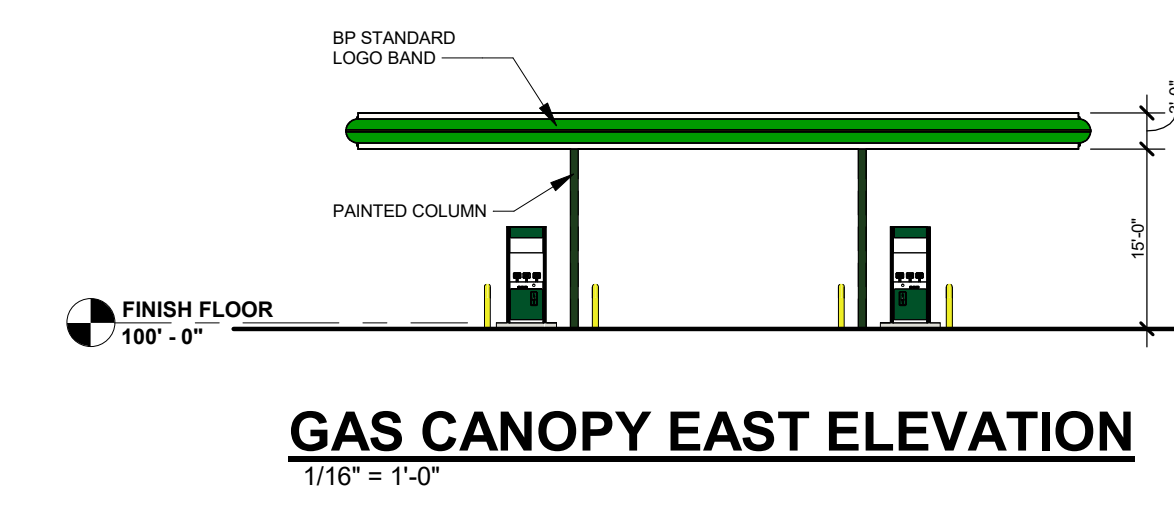
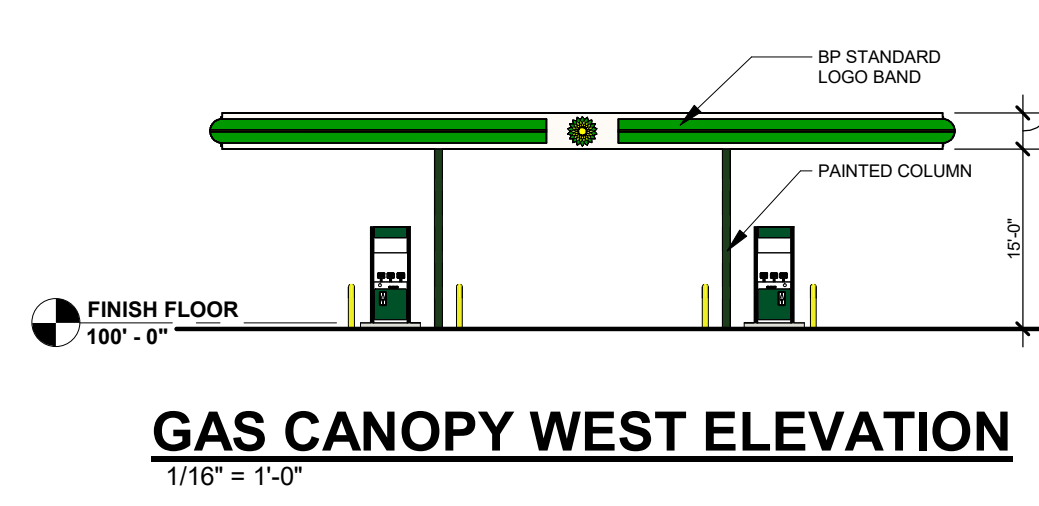
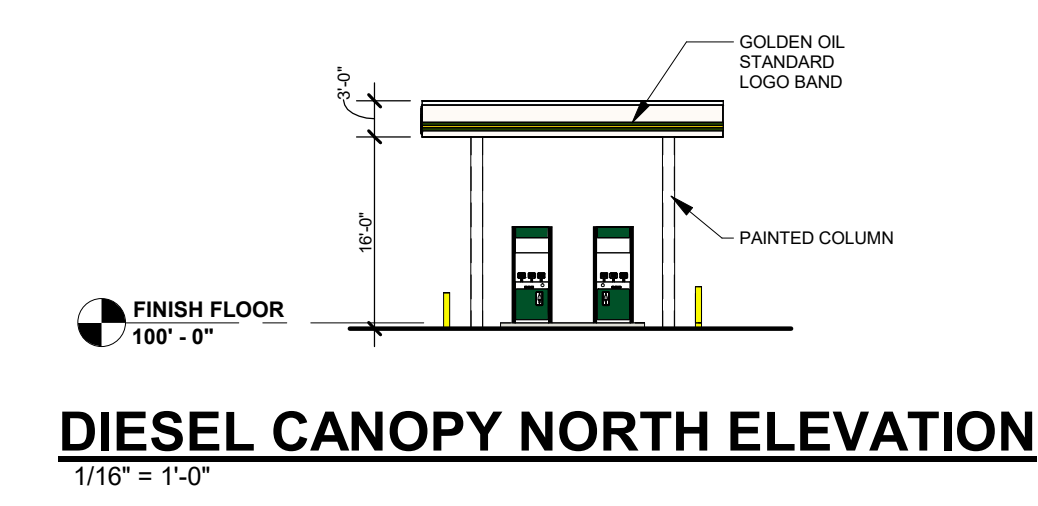
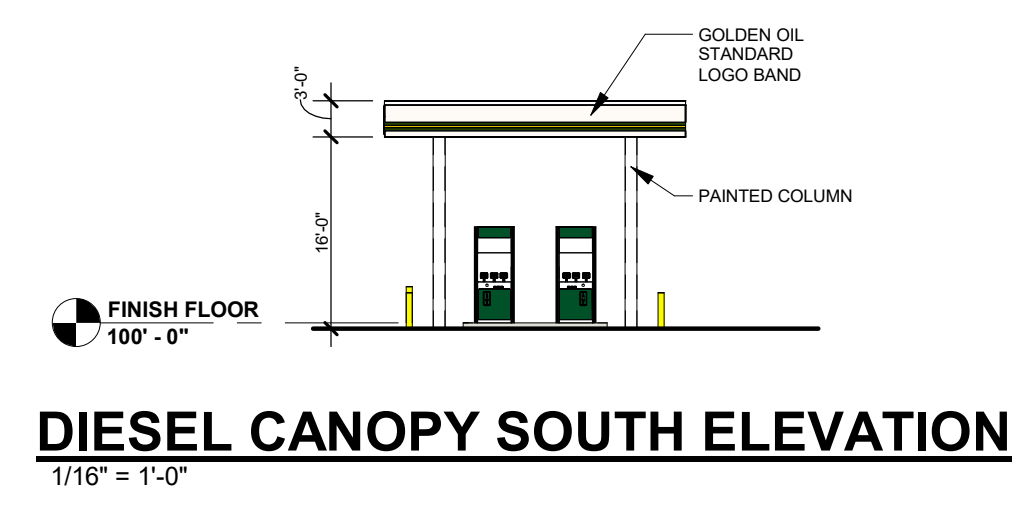
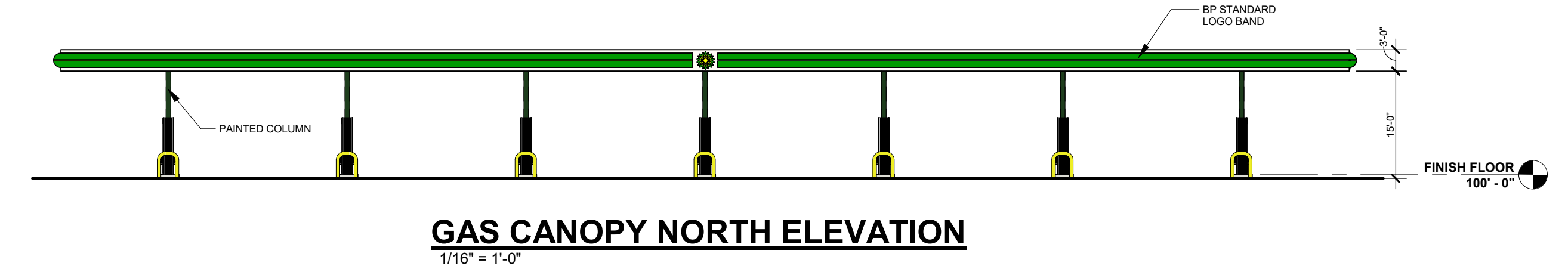
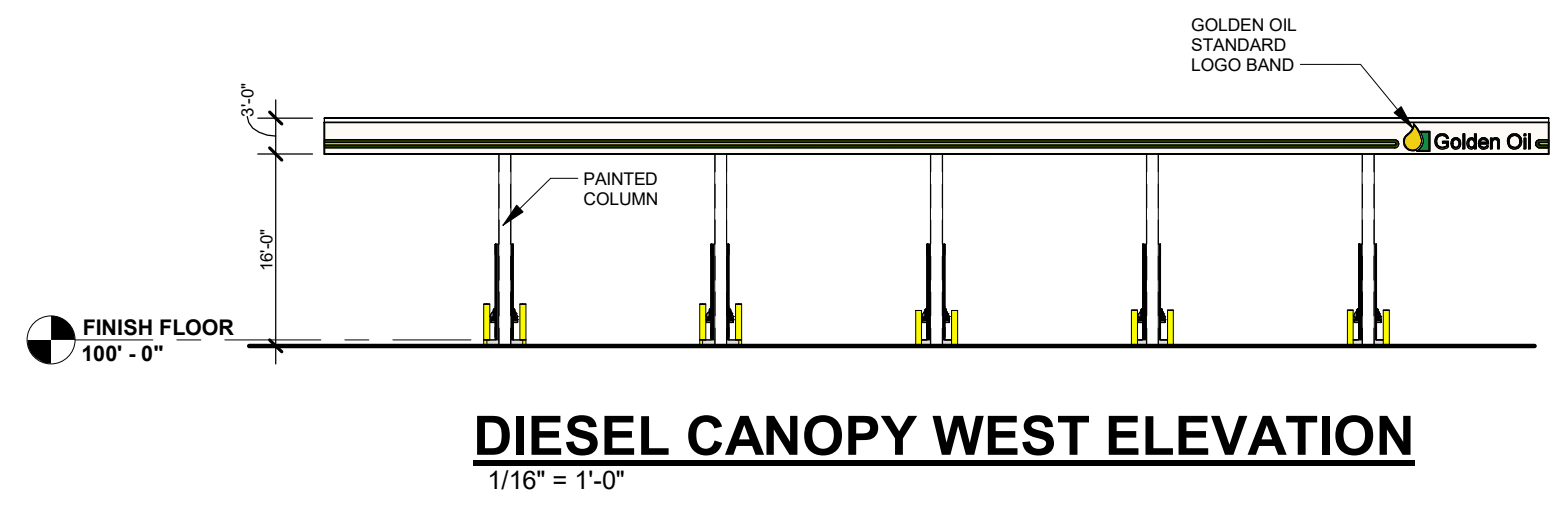
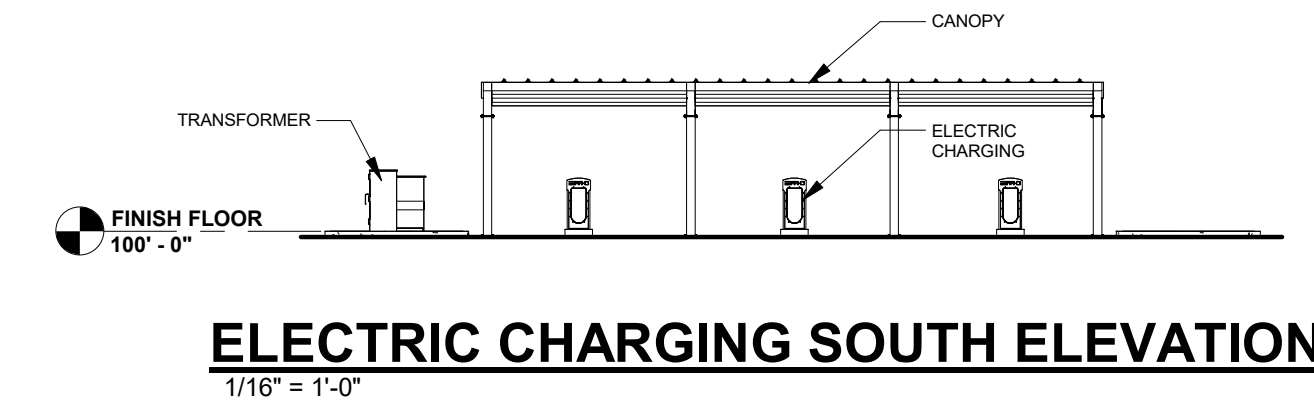
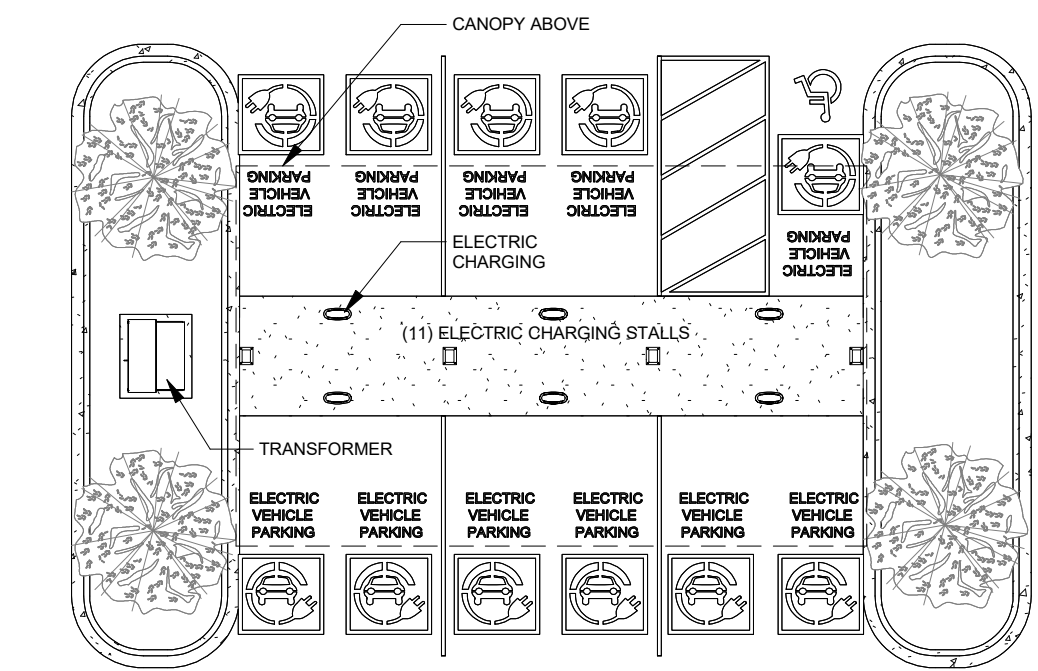
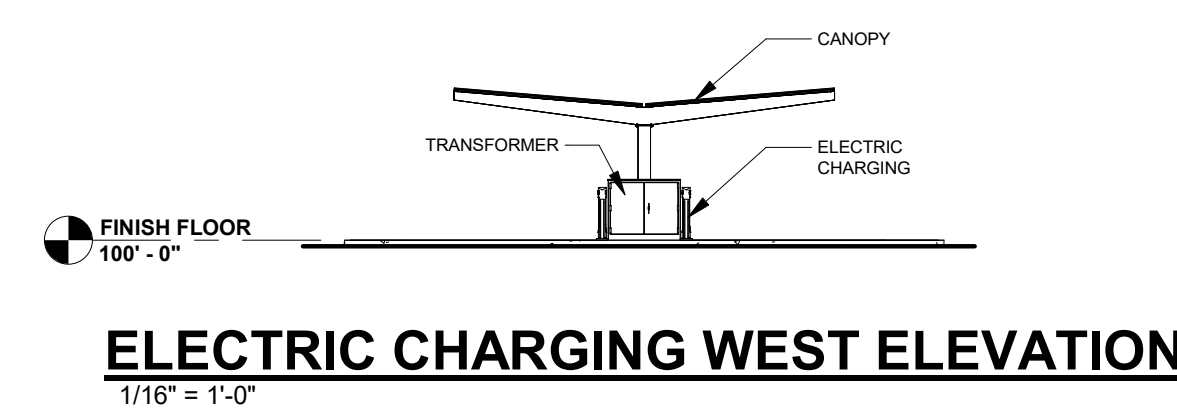
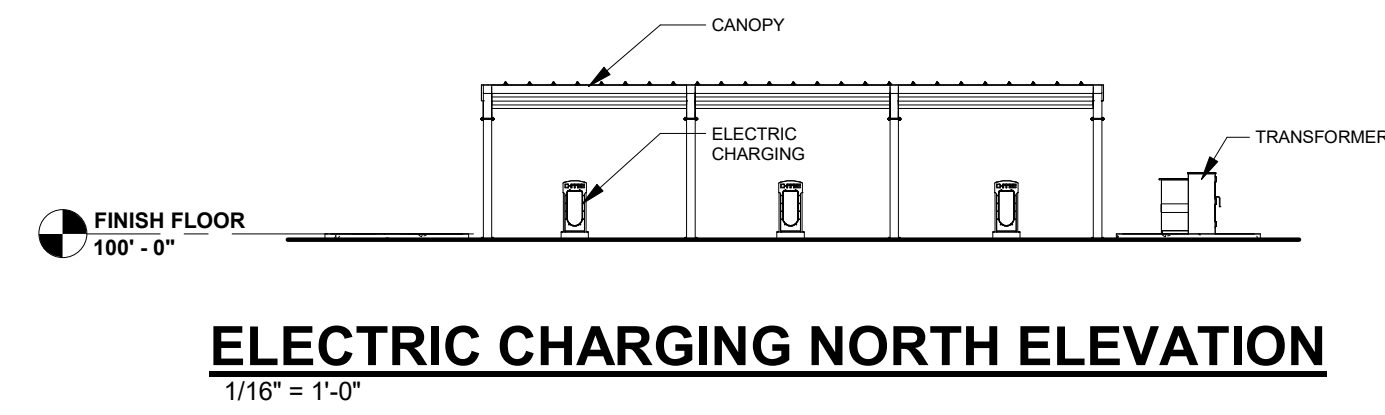
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P22188

CONTRACT NO.:

DATE:
06.21.2022

SHEET:
A2.0

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PROJECT MANAGER:
N. LAURENT

DESIGNER:
R. LINDSTROM

DRAWN BY:
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EXPEDITOR:

SUPERVISOR:

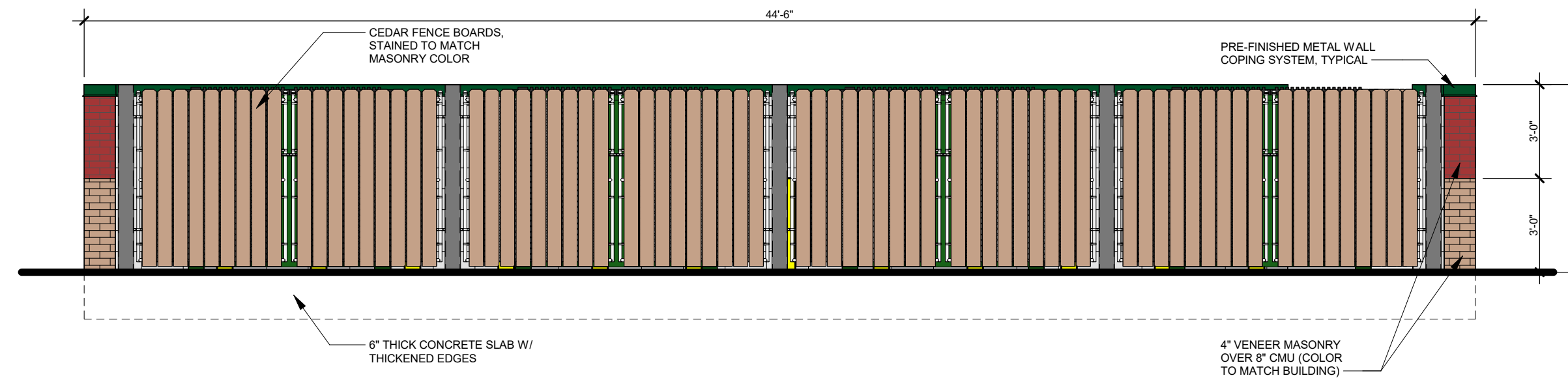
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DATE:
06.21.2022

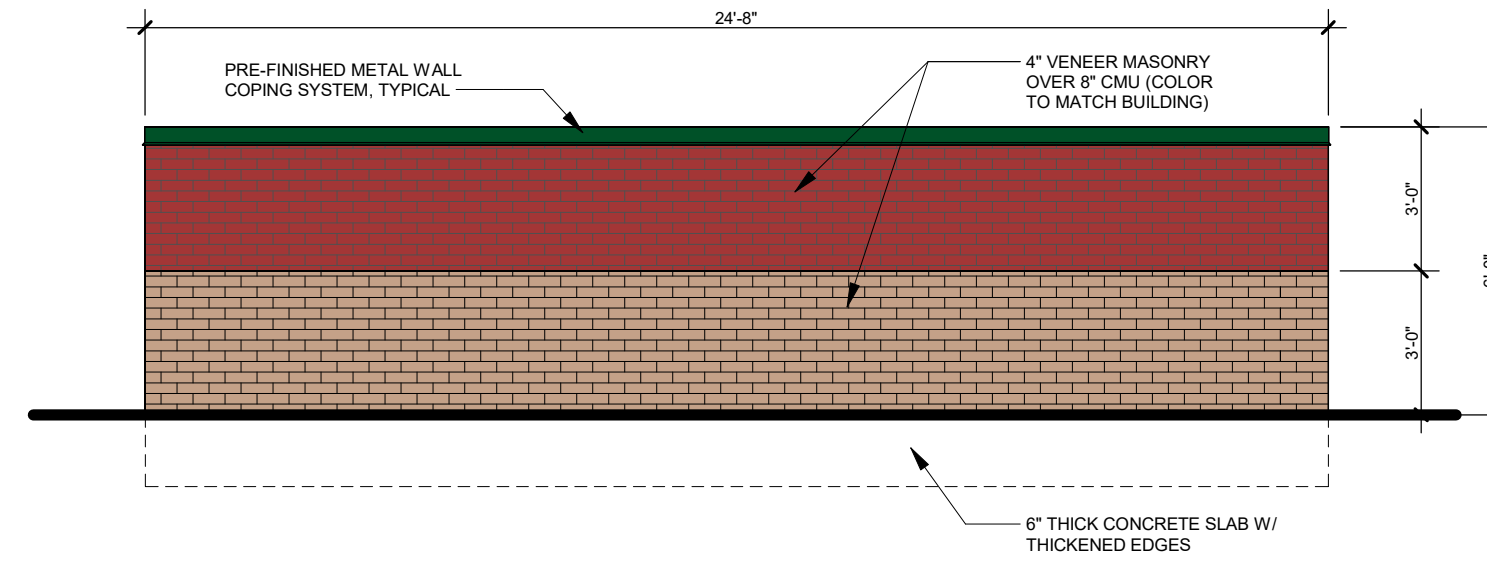
SHEET:
A2.1

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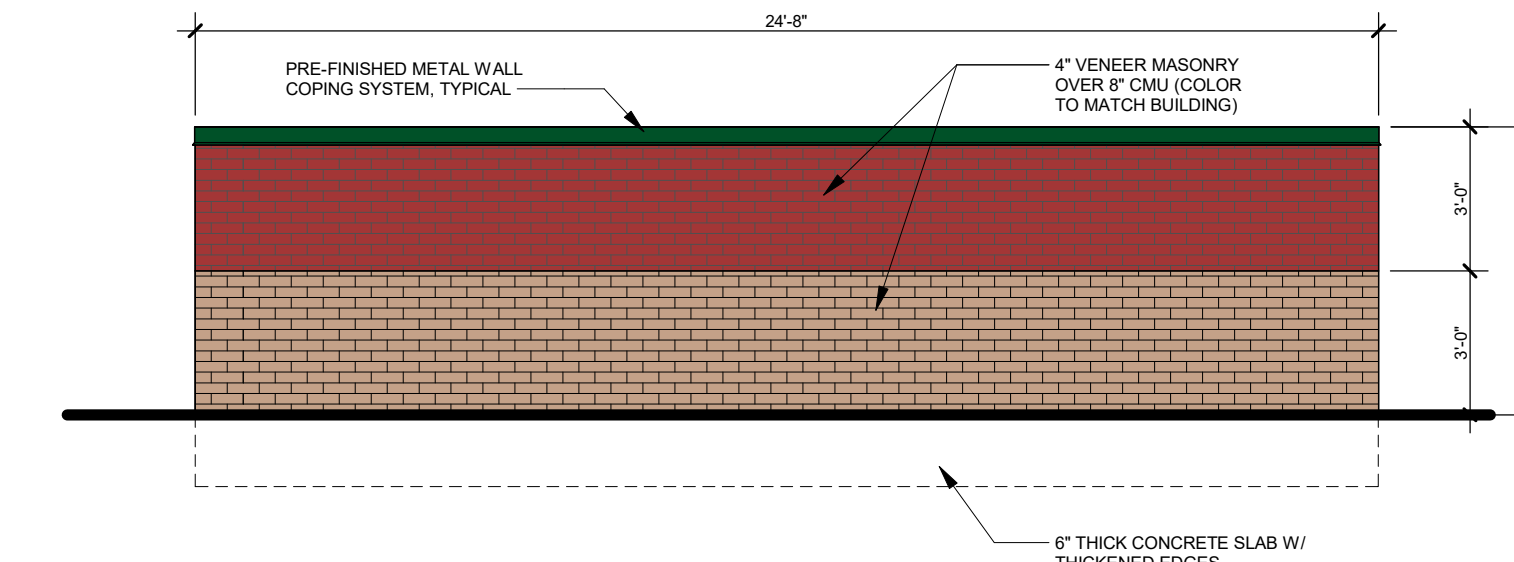
DUMPSTER ENCLOSURE - WEST ELEVATION

1/4" = 1'-0"



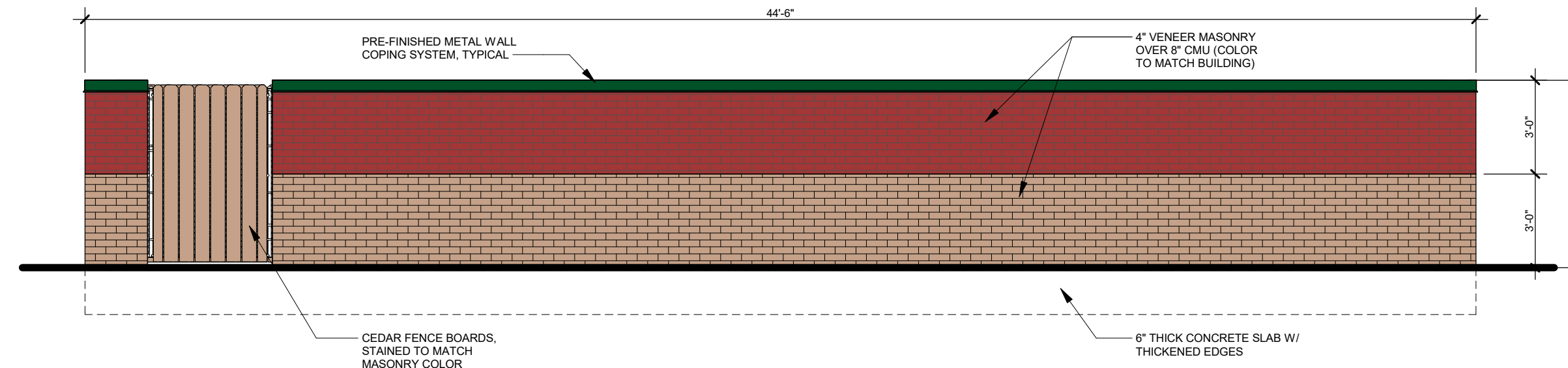
DUMPSTER ENCLOSURE - SOUTH ELEVATION

1/4" = 1'-0"



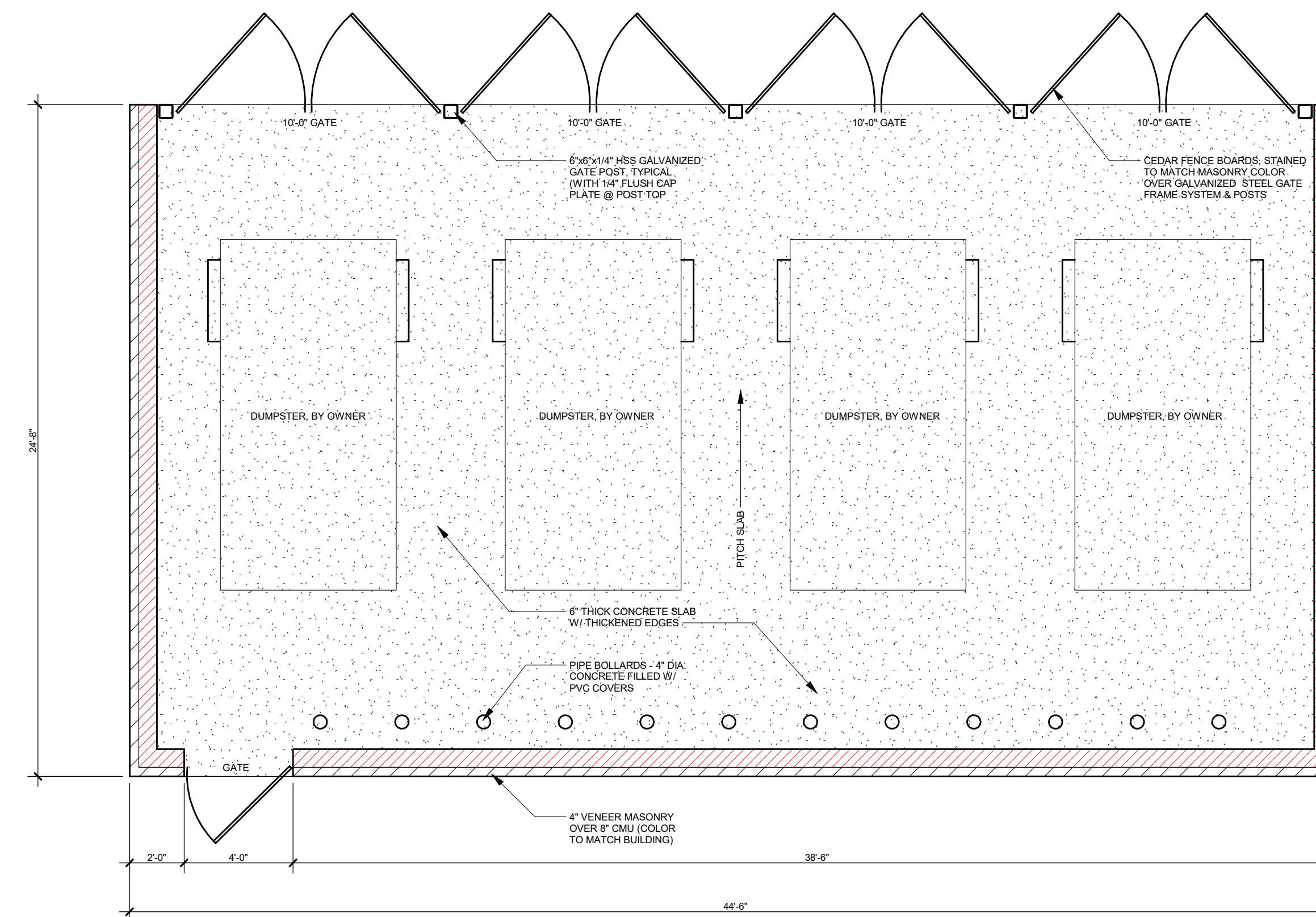
DUMPSTER ENCLOSURE - NORTH ELEVATION

1/4" = 1'-0"



DUMPSTER ENCLOSURE - EAST ELEVATION

1/4" = 1'-0"



DUMPSTER ENCLOSURE PLAN

1/4" = 1'-0"

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 P22188

CONTRACT NO:

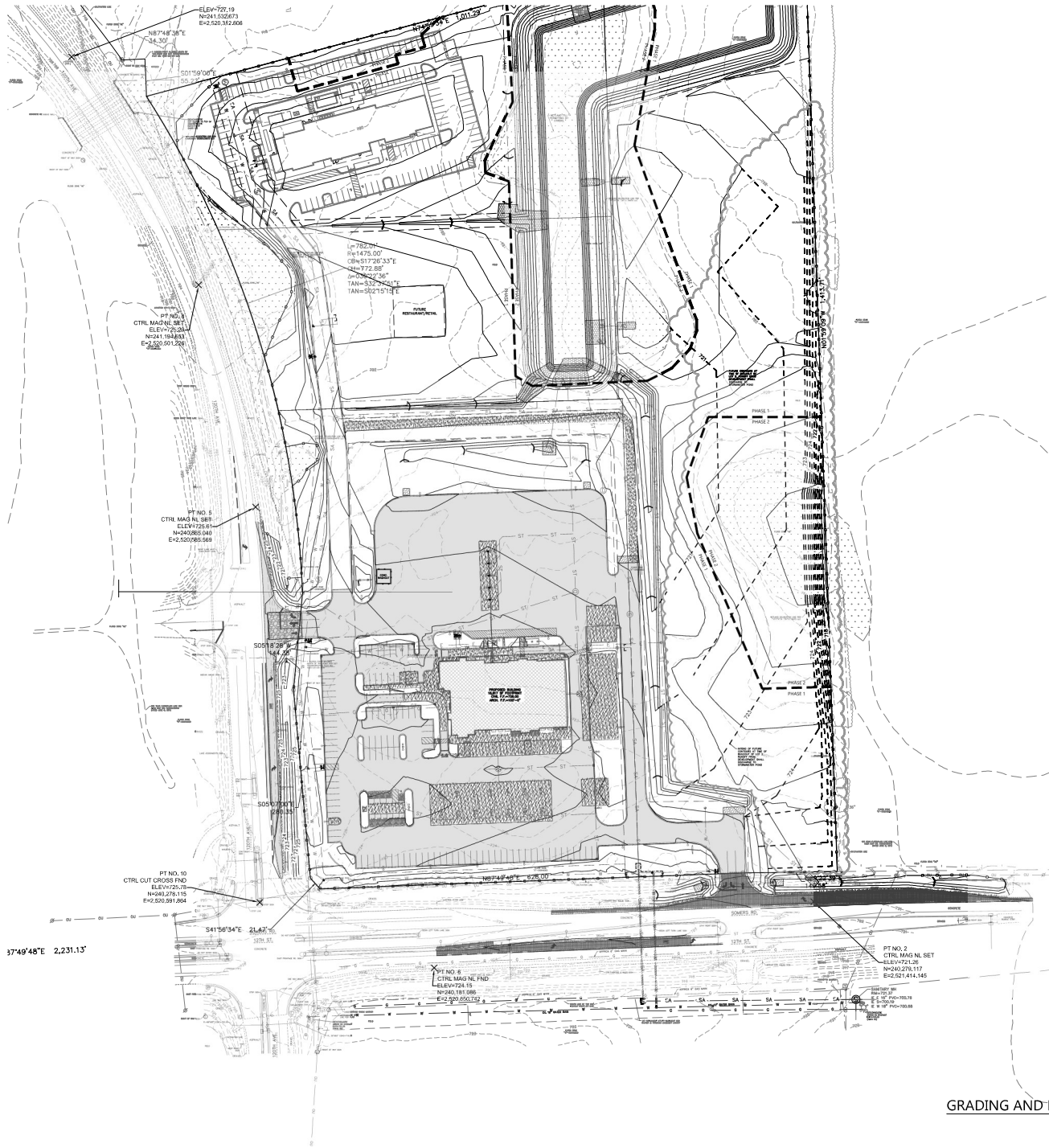
DATE:
 06.21.2022

SHEET:
A2.2

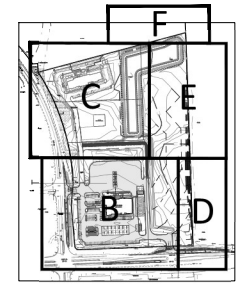
PRELIMINARY - NOT FOR CONSTRUCTION







SPECIFICATION NOTE:
SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



KEY PLAN

- GENERAL NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS CURRENT EDITION.
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1:50 AND RUNNING SLOPE OF 4:59, UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
 - CONTRACTOR SHALL PROVIDE CURB CURB WASHOUT AS PRESCRIBED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TEMPORARY FLOOD PROTECTION FOR ALL CURB CUTS & CATCH BASINS OFF OF & CHUTE WAREHOUSES DOWNSTREAM OF THE PROJECT SITE FOR LOCAL CODE.

VERTICAL DATUM CONVERSION
1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD83
2. NAVD83 - NAVD88 = 0.177 FT

Keller
PLANNERS | ARCHITECTS | BUILDERS

FOR OFFICE
1011 Main Street
P.O. Box 620
Madison, WI 53703
PHONE 608 786-5700 / 1-800-236-5204
FAX 608 786-5004

MILWAUKEE
1000 N. 10th Street
Milwaukee, WI 53233
PHONE 414 224-7400
FAX 414 224-7400

WISCONSIN
1000 N. 10th Street
Milwaukee, WI 53233
PHONE 414 224-7400
FAX 414 224-7400

www.kellerinc.com

PROPOSED DEVELOPMENT FOR:

GOLDEN OIL - SOMERS GATEWAY CENTER

SOMERS WISCONSIN

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REVISIONS

1	NOV. 22, 2024
2	APR. 2, 2025
3	APR. 8, 2025
4	
5	

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEIDTOR: S. LAMON
SUPERVISOR: T. RUNDE
PRELIMINARY NO.: P22188
CONTRACT NO.: 80550
DATE: OCT. 28, 2024



GRADING AND EROSION CONTROL PLAN - OVERALL
SHEET: **C1.2A**

ISSUED FOR CONSTRUCTION

D-Series Size 1 LED Area Luminaire

Specifications

Beam Angle: 120°
 Length: 14.26"
 Height: 12.81"
 Height to LED: 11.72"
 Height to Lens: 10.88"
 Weight: 36 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 60% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: D6X1 LED P7 40K 70CRI T2M MVLDT SPA N2A92 PR1N1 D0B20

Order Code	Color	Beam Angle	Color Temperature	Finish	Mounting	Notes
D6X1	LED	P7	40K	T2M	MVLDT	SPA
N2A92		PR1N1		D0B20		

Accessories

Accessories	Description	Part Number
100	100' pole with 100' galvanized steel mast and 100' galvanized steel cross-arm	100-100-100
100	100' pole with 100' galvanized steel mast and 100' galvanized steel cross-arm with 100' galvanized steel down-arm	100-100-100-100

LITHONIA LIGHTING
 One Lithonia Way • Corona, Georgia 30012 • Phone: 1-800-351-0278 • www.lithonia.com
 © 2017 Lithonia Lighting, Inc. All rights reserved.

PCNY LED LED Canopy/Ceiling Luminaire

Specifications

Width: 19.57"
 Height: 9.4"
 Depth: 15.2"
 Weight: 10.67lbs

Introduction

The all-new PCNY LED luminaire is designed to provide exceptional energy savings and versatility in one package. Features such as Adjustable Lumen Output (ALCO) and replaceable decorative cover make PCNY LED suitable for a wide variety of applications.

With over 150 LMW the PCNY LED delivers up to 80% in energy savings when replacing metal halide luminaires. With over 100,000 hours life expectancy (L70 at 24/7 continuous operation), the PCNY LED luminaire provides significant maintenance savings over traditional luminaires.

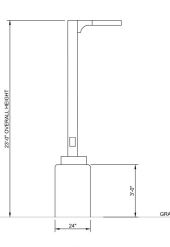
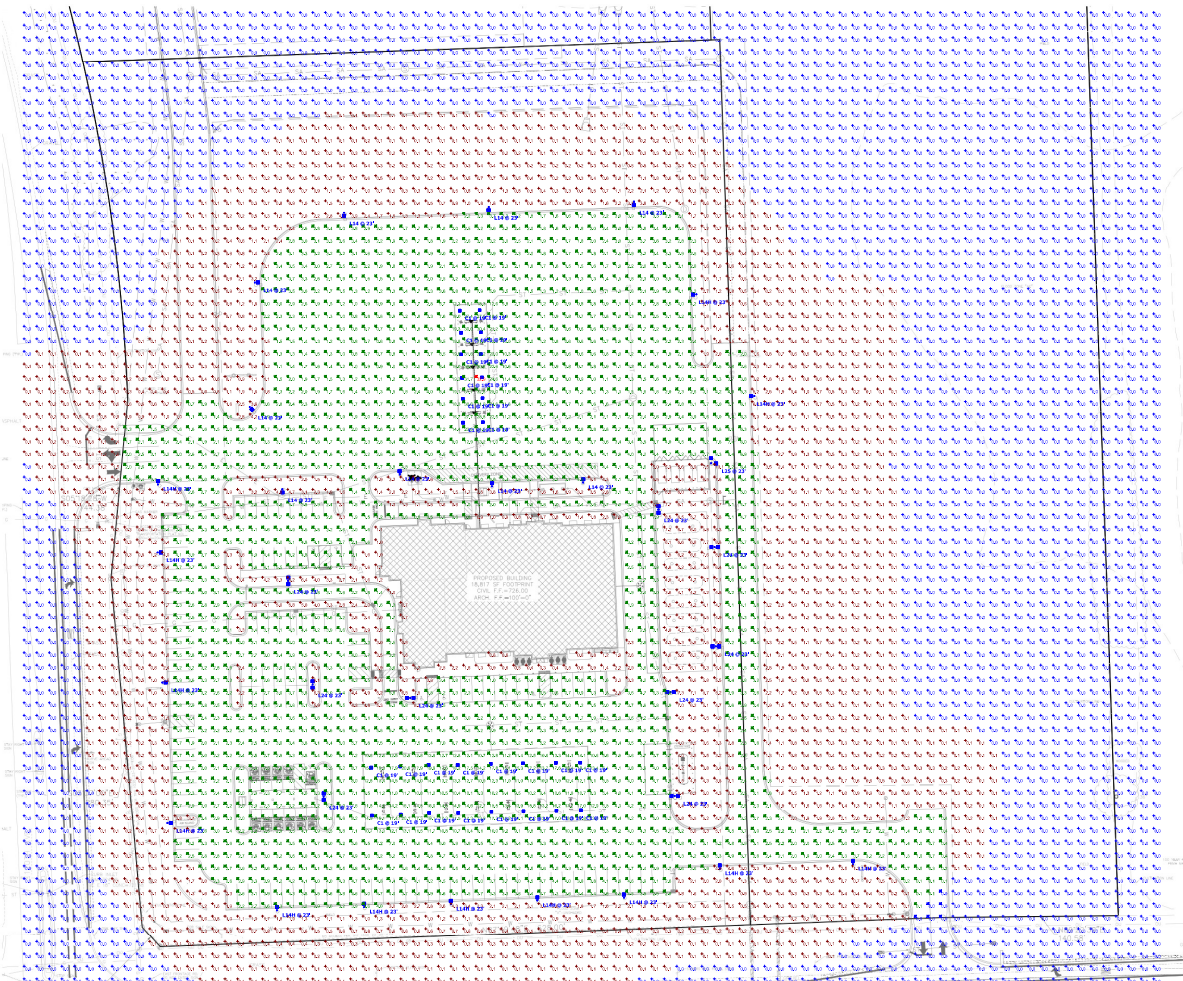
Ordering Information EXAMPLE: PCNY LED AL01 30K FPLM MVLDT DWX00 M3

Order Code	Color	Beam Angle	Color Temperature	Finish	Mounting	Notes
PCNY	LED	AL01	30K	FPLM	MVLDT	DWX00 M3

Accessories

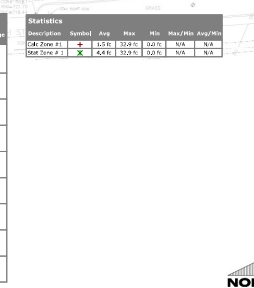
Accessories	Description	Part Number
100	100' pole with 100' galvanized steel mast and 100' galvanized steel cross-arm	100-100-100

LITHONIA LIGHTING
 One Lithonia Way • Corona, Georgia 30012 • Phone: 1-800-351-0278 • www.lithonia.com
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LIGHT POLE DETAIL
 NO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number of Luminaires	LUMENS Per Luminaire	Light Loss Factor	Wattage	Wattage	Statistics				
											Designation	Symbol	Avg	Max	Min
[Symbol]	L14H	13	LITHONIA	D6X1 LED P7 40K 70CRI T2M MVLDT SPA N2A92 PR1N1 D0B20	D-Series Size 1 Area Luminaire PE Performance Package 1000K CCT 90 CRI Type 1 Medium	1	1643	1	165,247						
[Symbol]	L24	9	LITHONIA	D6X1 LED P7 40K 70CRI T2M MVLDT SPA N2A92 PR1N1 D0B20	D-Series Size 1 Area Luminaire PE Performance Package 1000K CCT 90 CRI Type 1 Medium	1	19136	1	3392						
[Symbol]	L34	9	LITHONIA	D6X1 LED P7 40K 70CRI T2M MVLDT SPA N2A92 PR1N1 D0B20	D-Series Size 1 Area Luminaire PE Performance Package 1000K CCT 90 CRI Type 1 Medium	1	19136	1	16923						
[Symbol]	L25	1	LITHONIA	D6X1 LED P7 40K 70CRI T2M MVLDT SPA N2A92 PR1N1 D0B20	D-Series Size 1 Area Luminaire PE Performance Package 1000K CCT 90 CRI Type 1 Medium	1	19136	1	3100						
[Symbol]	C1	26	LITHONIA	PCNY LED AL01 30K FPLM MVLDT DWX00 M3	PCNY LED AL01 30K FPLM MVLDT DWX00 M3	1	12566	1	8145						



SITE PHOTOMETRIC PLAN AND DETAILS
 ISSUED FOR CONSTRUCTION

Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
 1024 Sun Bay St
 Fox Lake, IL 60120
 Phone: (815) 746-2200
 Fax: (815) 746-2204

MILWAUKEE
 1024 N1550
 Coltonville Rd
 Germantown, WI 53032
 Phone: (262) 355-9719
 Fax: (262) 355-2834

BRANSON
 3001 Lakeview
 Branson, MO 64616
 Phone: (417) 848-3411
 Fax: (417) 848-3411

www.kellerbuild.com

PROPOSED DEVELOPMENT FOR:

GOLDEN OIL - SOMERS GATEWAY CENTER

WISCONSIN
 SOMERS

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REVISIONS

PROJECT MANAGER: N. LAURENT
 DESIGNER: R. LINDSTROM
 DRAWN BY: EXCEL ENGINEERING
 EXPEDITER: S. LAMON
 SUPERVISOR: T. RIANDE
 PRELIMINARY NO: P22188
 CONTRACT NO: 18006

DATE: OCT. 28, 2024
 SHEET: C1.5

Exhibit G
Sanitary Sewer Connection Fees

Sanitary Sewer Fee..... \$24,360

Total Sewer Connection Fees..... \$24,360.00

***Subject to change if meters, are not as follows:**

- **One (1), Two (2) inch displacement meter**
- **Two (2), One (1) inch displacement meters**

SPECIFICATION NOTE:
SEE SHEET C5.01 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

GENERAL PROJECT NOTES

1. ALL DRIVEWAYS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS FROM ALL REQUIRED ENTITIES.

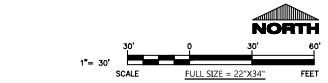
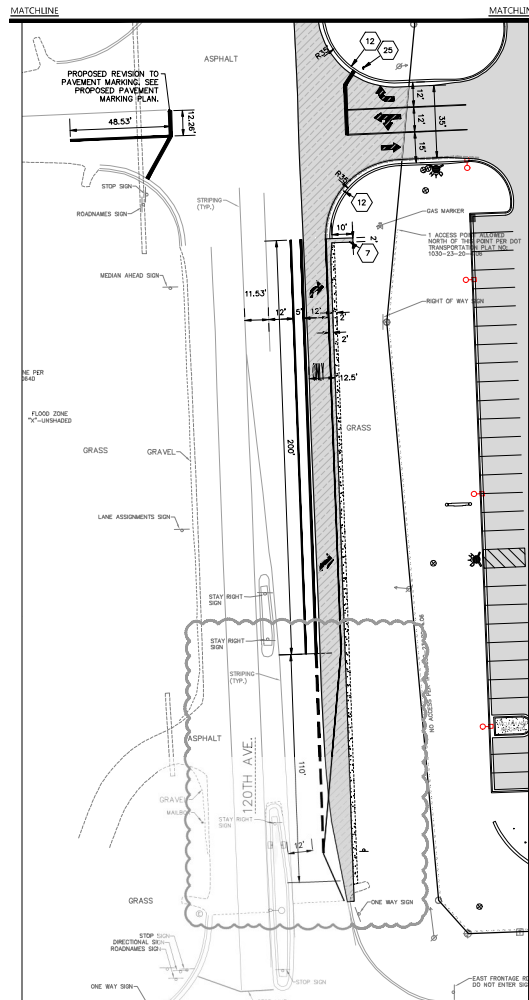
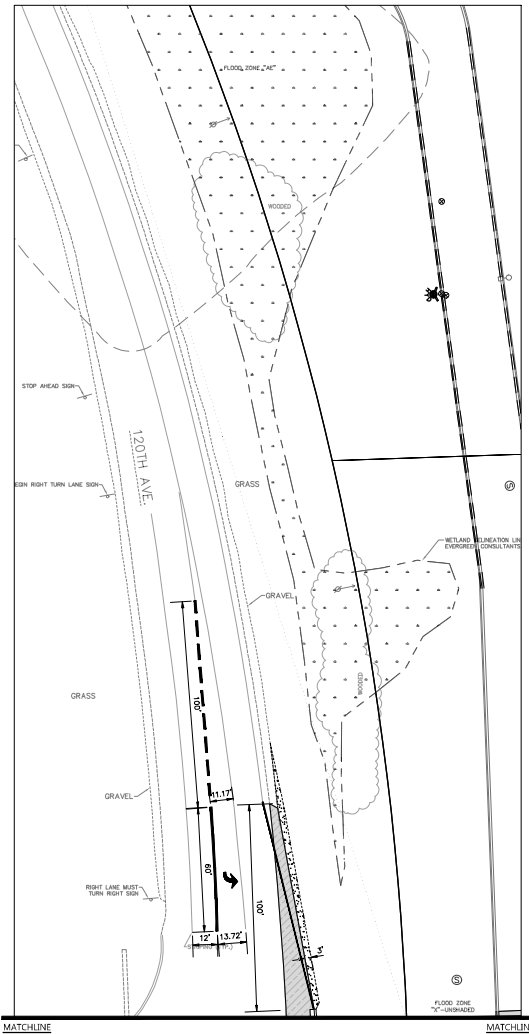
SITE PLAN KEYNOTES

- (7) 2' WIDE ASPHALT FLUME PER WISDOT SDD (TYP)
- (12) DOT 6" SLOPED 36" TYPE D CONCRETE CURB & GUTTER PER SDD 08001-g. TAPER CURB HEIGHT 0" TO 6" IN 10'-0" LENGTH AT ENDS OF CURB & GUTTER SECTIONS.
- (25) STOP SIGN (R1-1 TYP.)

(X(X)) IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

PAVEMENT HATCH KEY:

- DOT ASPHALT SECTION
- GRAVEL SECTION



WISCONSIN DOT SITE PLAN
EXCEL JOB #: 2266000
ISSUED FOR CONSTRUCTION

Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
1826 State Road 55
PO Box 620
Madison, WI 53710
PHONE (608) 766-5795 / 1-800-236-2534
FAX (608) 766-5204

MILWAUKEE
1000 N11109
Cambridge Rd
Milwaukee, WI 53222
PHONE (414) 250-9710
FAX (414) 250-9740

MADISON
7111 Lido Drive
Sun Prairie, WI 53590
PHONE (608) 318-2336

WISCONSIN
5605 Elm Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED DEVELOPMENT FOR:
GOLDEN OIL - SOMERS GATEWAY CENTER
SOMERS WISCONSIN

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REVISIONS

NOV. 22, 2024
JAN. 20, 2025

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEDITOR: S. LAMON
SUPERVISOR: T. RUNDE
PRELIMINARY NO: P22188
CONTRACT NO: 80550
DATE: OCT. 28, 2024

SHEET: **C5.1**

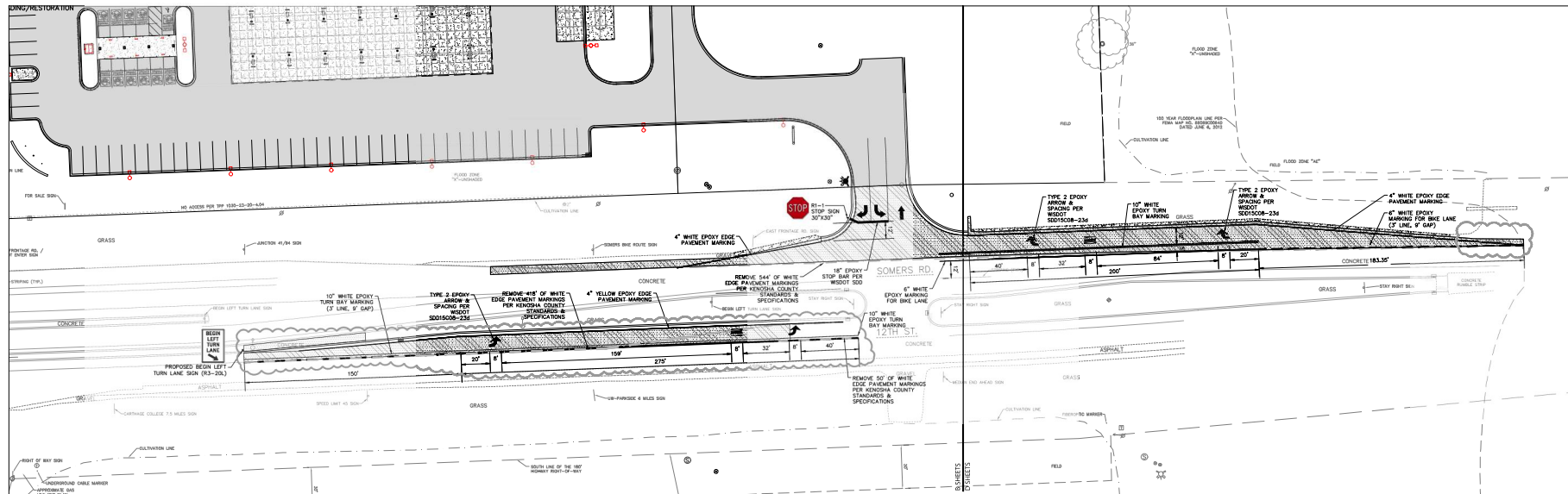
SPECIFICATION NOTE:
SEE SHEET C0.2 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



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PLANNERS | ARCHITECTS | BUILDERS

FOR OFFICE: NEW BRUNNEN, WI 53005
FOR FIELD: MILWAUKEE, WI 53204
FOR SALES: MILWAUKEE, WI 53204
FOR PROJECTS: MILWAUKEE, WI 53204

GOLDEN OIL - SOMERS GATEWAY CENTER
SOMERS, WISCONSIN



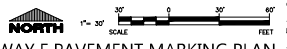
PROPOSED DEVELOPMENT FOR:

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REVISIONS	DATE
1	NOV. 22, 2024
2	FEB. 6, 2025

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPECITOR: S. LAMON
SUPERVISOR: T. RUNDE
PRELIMINARY NO: P22188

CONTRACT NO: 80550
DATE: OCT. 28, 2024



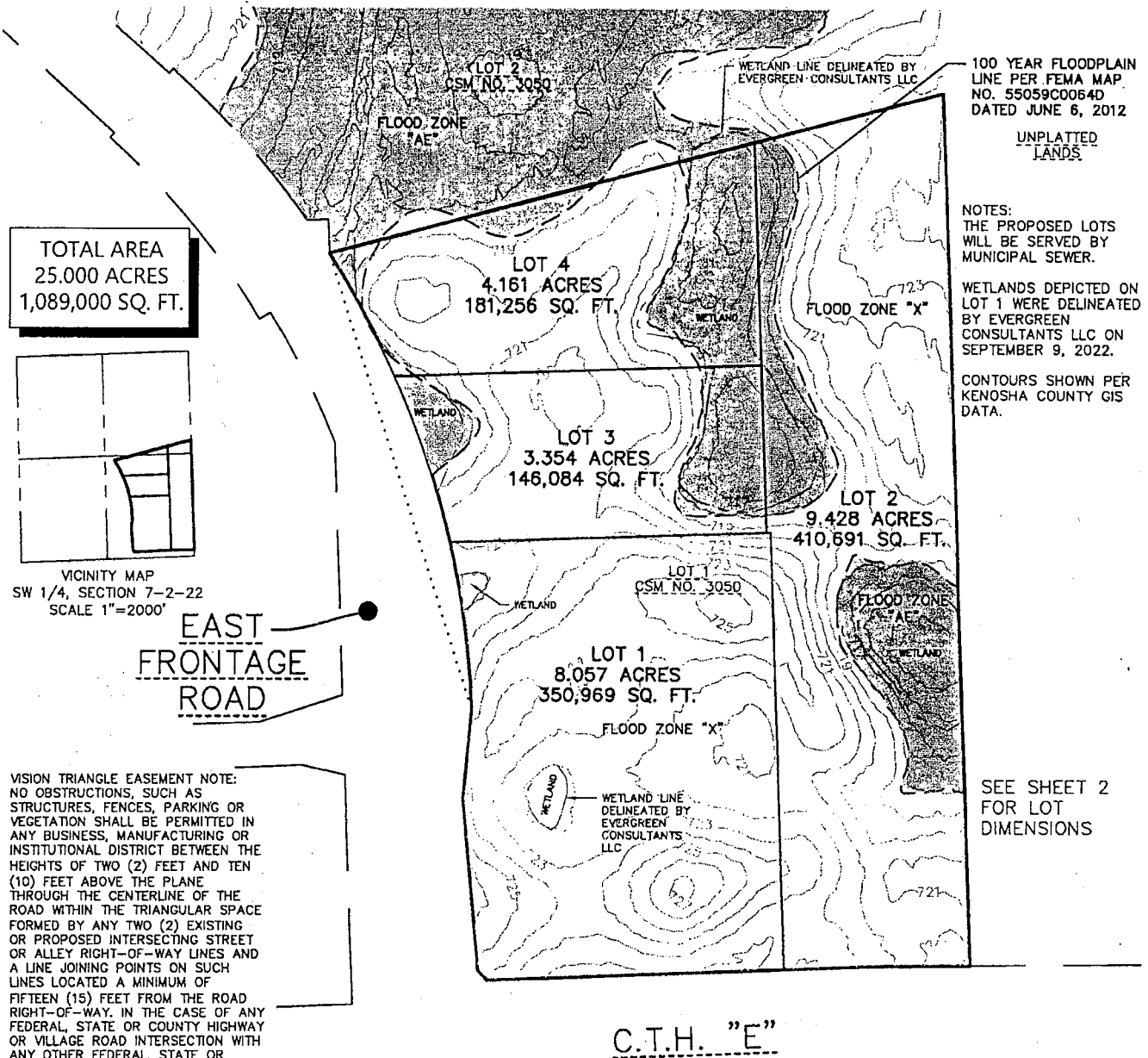
COUNTY HIGHWAY E PAVEMENT MARKING PLAN
SHEET: C1.1E

ISSUED FOR CONSTRUCTION

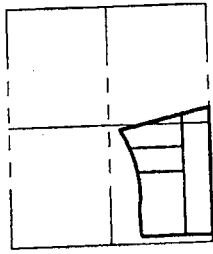
Document #: **1966319**
 Date: **2024-07-12** Time: **2:48 PM** Pages: **4**
 Fee: **\$30.00** County: **KENOSHA** State: **WI**
 REGISTER OF DEEDS: **JOELLYN M. STORZ**

CERTIFIED SURVEY MAP NO. 3093

FOR
SOMERS GATEWAY CENTER LLC
 LOT 1, CSM NO. 3050, BEING PART OF THE NORTHEAST 1/4
 & SOUTHEAST 1/4 OF THE SOUTHWEST 1/4,
 SECTION 7, TOWNSHIP 2 NORTH, RANGE 22 EAST, VILLAGE
 OF SOMERS, KENOSHA COUNTY, WISCONSIN.



TOTAL AREA
 25.000 ACRES
 1,089,000 SQ. FT.



VICINITY MAP
 SW 1/4, SECTION 7-2-22
 SCALE 1"=2000'

EAST FRONTAGE ROAD

100 YEAR FLOODPLAIN
 LINE PER FEMA MAP
 NO. 55059C0064D
 DATED JUNE 6, 2012

UNPLATTED
 LANDS

NOTES:
 THE PROPOSED LOTS
 WILL BE SERVED BY
 MUNICIPAL SEWER.

WETLANDS DEPICTED ON
 LOT 1 WERE DELINEATED
 BY EVERGREEN
 CONSULTANTS LLC ON
 SEPTEMBER 9, 2022.

CONTOURS SHOWN PER
 KENOSHA COUNTY GIS
 DATA.

SEE SHEET 2
 FOR LOT
 DIMENSIONS

VISION TRIANGLE EASEMENT NOTE:
 NO OBSTRUCTIONS, SUCH AS
 STRUCTURES, FENCES, PARKING OR
 VEGETATION SHALL BE PERMITTED IN
 ANY BUSINESS, MANUFACTURING OR
 INSTITUTIONAL DISTRICT BETWEEN THE
 HEIGHTS OF TWO (2) FEET AND TEN
 (10) FEET ABOVE THE PLANE
 THROUGH THE CENTERLINE OF THE
 ROAD WITHIN THE TRIANGULAR SPACE
 FORMED BY ANY TWO (2) EXISTING
 OR PROPOSED INTERSECTING STREET
 OR ALLEY RIGHT-OF-WAY LINES AND
 A LINE JOINING POINTS ON SUCH
 LINES LOCATED A MINIMUM OF
 FIFTEEN (15) FEET FROM THE ROAD
 RIGHT-OF-WAY. IN THE CASE OF ANY
 FEDERAL, STATE OR COUNTY HIGHWAY
 OR VILLAGE ROAD INTERSECTION WITH
 ANY OTHER FEDERAL, STATE OR
 COUNTY HIGHWAY OR VILLAGE ROAD
 OR RAILWAYS, THE CORNER CUTOFF
 DISTANCES ESTABLISHING THE
 TRIANGULAR VISION CLEARANCE
 SPACE SHALL BE INCREASED TO
 FIFTY (50) FEET.

C.T.H. "E"

Parcel Number: 82-4-222-073-0301



MAP DATE: APR. 26, 2024
 REV. DATE: JUNE 20, 2024

LEGEND

CERTIFIED SURVEY MAP NO. 3093

LOT 1, CSM NO. 3050, BEING PART OF THE NORTHEAST 1/4
& SOUTHEAST 1/4 OF THE SOUTHWEST 1/4,
SECTION 7, TOWNSHIP 2 NORTH, RANGE 22 EAST,
VILLAGE OF SOMERS, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

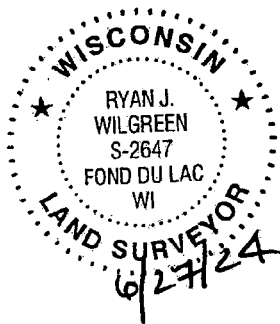
That I have surveyed, divided and mapped a parcel of land described below.

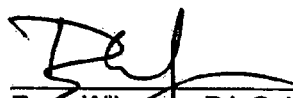
That I have made such Certified Survey under the direction of Somers Gateway Center LLC bounded and described as follows:

Lot 1 of Certified Survey Map No. 3050, recorded in the Kenosha County Register of Deeds Office as Document No. 1948190, being part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 7, Township 2 North, Range 22 East, Village of Somers, Kenosha County, Wisconsin.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the Village of Somers in surveying, dividing and mapping the same.




Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 2266000

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Somers on this 25th day of June, 2024.


George Stoner, Village President

6-25-2024
Date


Wendy Burnette, Village Clerk-Treasurer

6-25-2024
20/55 Date

CERTIFIED SURVEY MAP NO. 3093

LOT 1, CSM NO. 3050, BEING PART OF THE NORTHEAST 1/4
& SOUTHEAST 1/4 OF THE SOUTHWEST 1/4,
SECTION 7, TOWNSHIP 2 NORTH, RANGE 22 EAST,
VILLAGE OF SOMERS, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE


Somers Gateway Center LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this map to be surveyed, divided and mapped as represented on this map.

Somers Gateway Center LLC does further certify that this map is required to be submitted to the following for approval:

1. Village of Somers

WITNESS the hand and seal of said owner this 2nd day of July, 2024

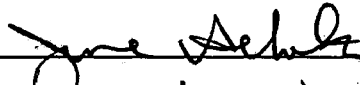
Somers Gateway Center LLC



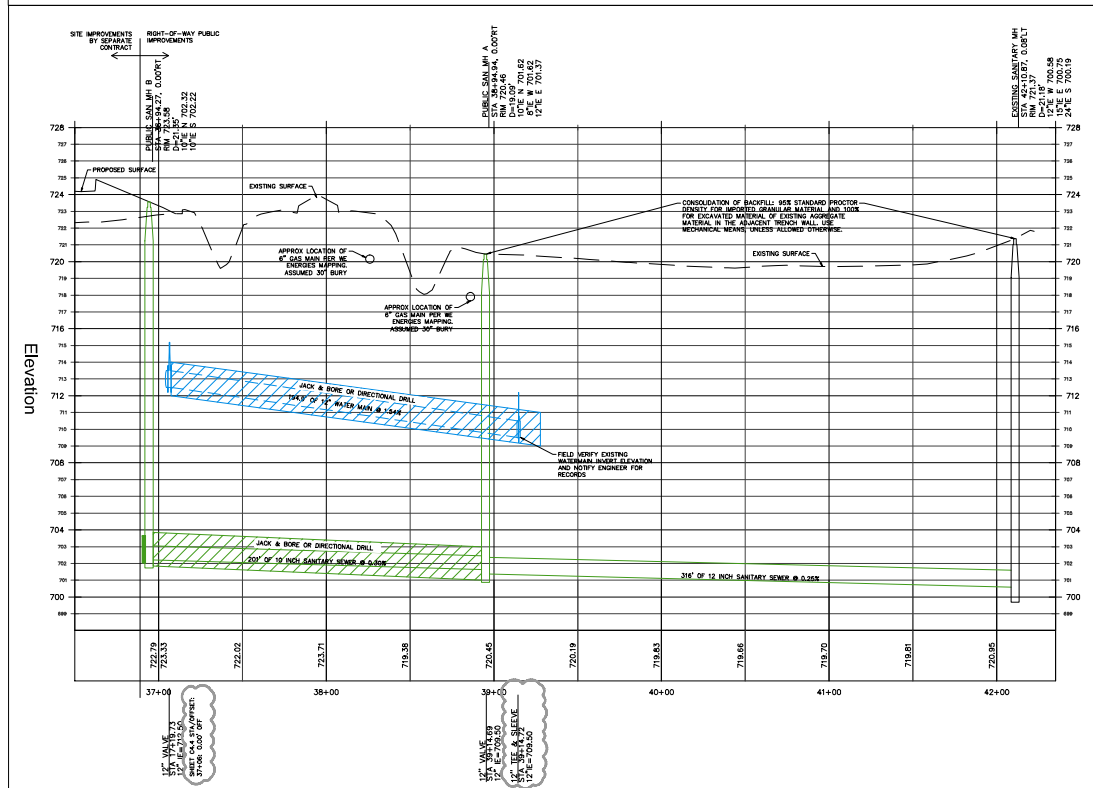
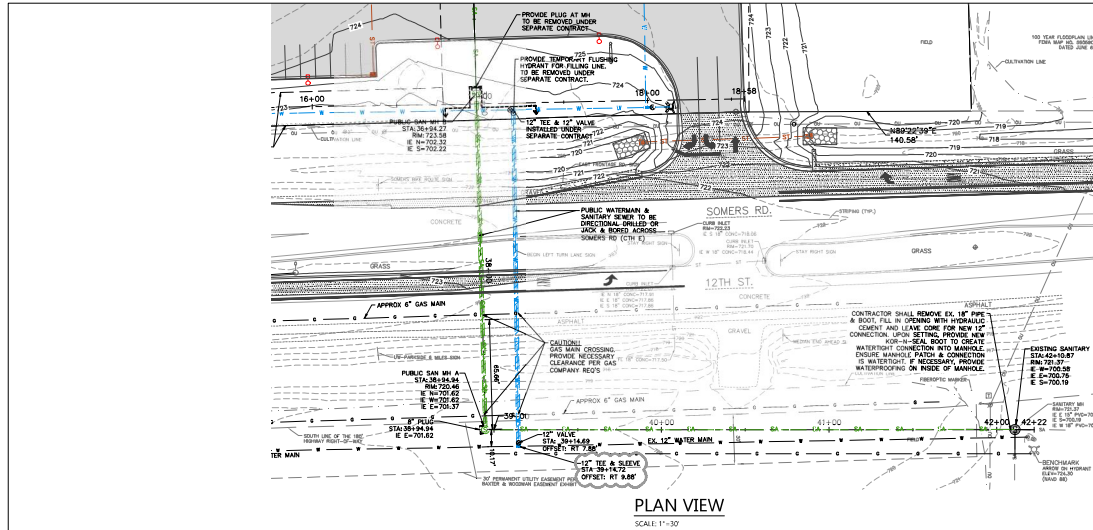
PAUL BHARDWAJ MEMBER
(Print) (Title)

STATE OF Wisconsin)
Kenosha COUNTY)SS

Personally, came before me this 2nd day of July, 2024, the above named Paul Bhardwaj to me known to be the person who executed the foregoing instrument and acknowledged the same.



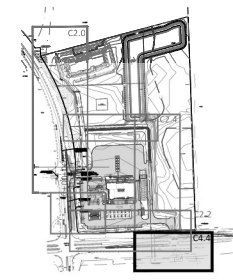
Notary Public, Kenosha County, WI
My Commission Expires: 8/3/26



PROFILE VIEW
HORIZONTAL: 1"=30'
VERTICAL: 1"=3'

PUBLIC UTILITY EXTENSION PLAN & PROFILE - STA 37+06 - 42+35

ISSUED FOR CONSTRUCTION



PUBLIC MAIN
EXTENSION KEY PLAN

NOTE:
1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVORS
2. NAVORS # 1849388 - 017.21

Keller
PLANNERS ARCHITECTS BUILDERS

FOR OFFICE
1515 Main Street
P.O. Box 620
Madison, WI 53703
PHONE 608 766-5701
1-800-368-2034
FAX 608 766-5004

MILWAUKEE
1000 N. Lincoln
Columbus, WI 53001
PHONE 608 255-0771
1-800-368-2034
www.kellerwi.com

WISCONSIN
MADISON
1515 Main Street
Madison, WI 53703
PHONE 608 766-5701
1-800-368-2034
FAX 608 766-5004

MILWAUKEE
1000 N. Lincoln
Columbus, WI 53001
PHONE 608 255-0771
1-800-368-2034
www.kellerwi.com

PROPOSED DEVELOPMENT FOR:

GOLDEN OIL - SOMERS GATEWAY CENTER

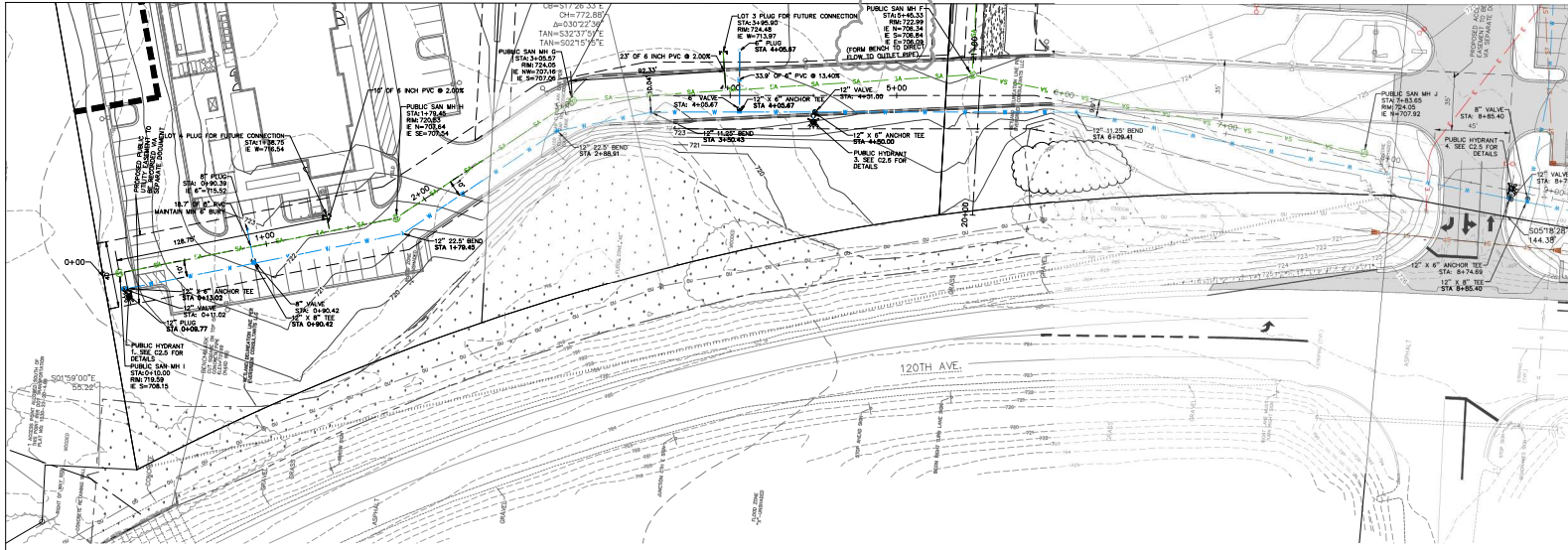
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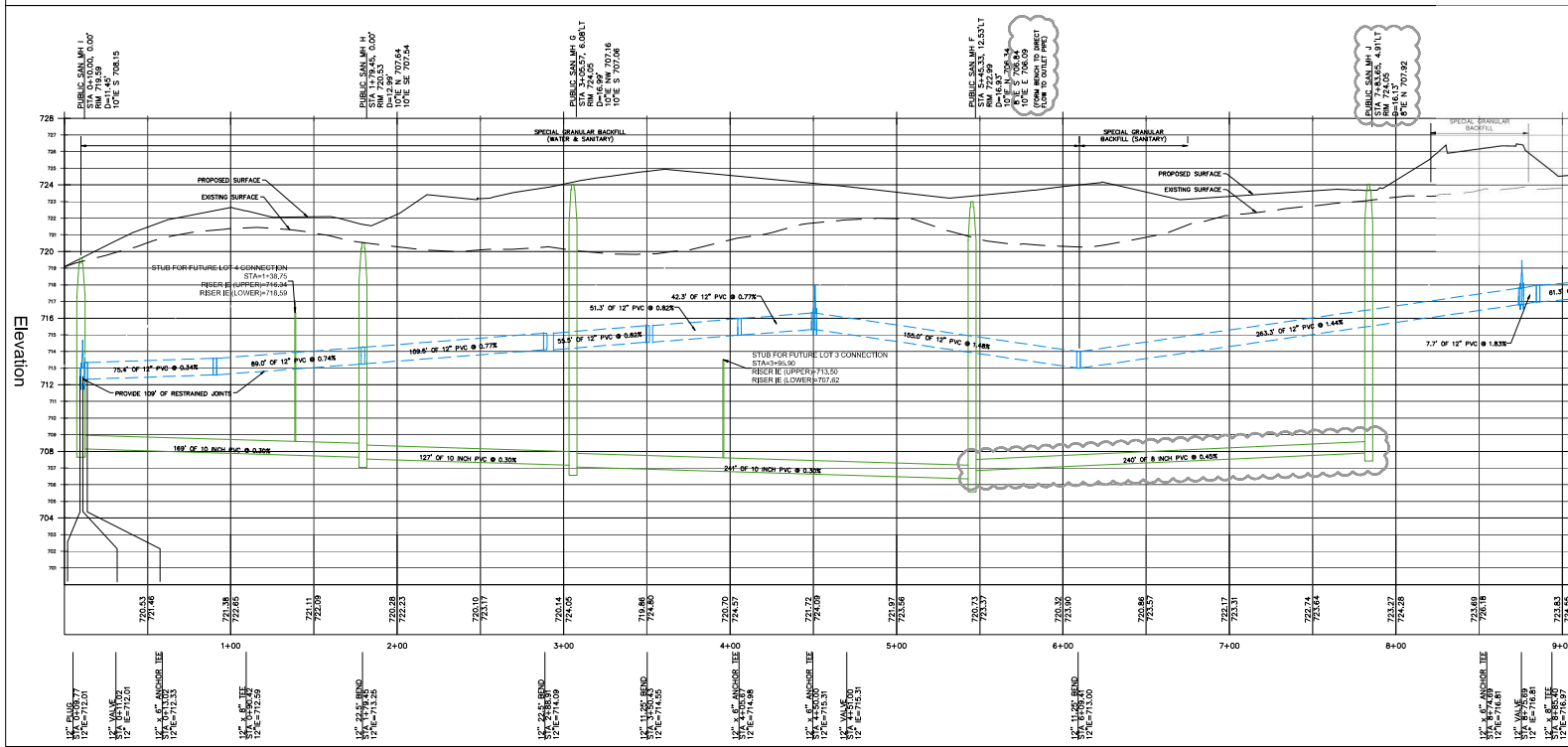
REVISIONS
NOV. 22, 2024
JAN. 20, 2025

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEIDTOR: S. LAMON
SUPERVISOR: T. RUDE

PRELIMINARY NO: P22188
CONTRACT NO: 80550
DATE: OCT. 28, 2024
SHEET: C4.4

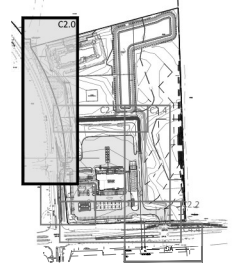


PLAN VIEW
SCALE 1"=30'



PROFILE VIEW
HORIZONTAL 1"=30'
VERTICAL 1"=3'

SPECIFICATION NOTE:
SEE SHEET C2.0 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



**PUBLIC MAIN
EXTENSION KEY PLAN**

VERTICAL DATUM CONVERSION
1 SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD83
2 HIGHER = NAVD83 + 0.17 FT

SPECIAL GRANULAR BACKFILL NOTE:
FOR CONDUITS REQUIRING EXCAVATION BENEATH OR WITHIN 4 FEET HORIZONTALLY OF DRIVEWAYS, OR SIDEWALKS OR IN OTHER AREAS WHICH, IN THE OPINION OF THE VILLAGE ENGINEER, ARE OR MAY BE SUBJECT TO SIGNIFICANT TRAFFIC LOADING, SPECIAL GRANULAR BACKFILL SHALL BE PROVIDED ABOVE THE TOP OF THE SUBSIDIARY MATERIAL AND SHALL EXTEND UPWARD TO THE TOP OF GROUND OR PAVEMENT SUBGRADE. PROVIDE EITHER SAND, PIT RUN GRAVEL, GRANULAR MATERIAL, OR EXCAVATED GRANULAR MATERIALS.

1. Sand: Well graded free from organic matter, conforming, complying with the "Standard Specifications for Sewer and Water Construction in Wisconsin", with the following gradation:

Sieve Size	Percent Passing
1/2 inch	100%
No. 10	49-60%
Material finer than No. 200	3-5%
2. Pit run gravel: Free from organic matter, unconsolidated granular material obtained from natural deposits of sand and gravel, passing 3/4 inch sieve, and not more than 15 percent passing the No. 200 sieve.

Sieve Size	Percent Passing
1/2 inch	100%
3/4 inch	90-100%
No. 10	49-60%
No. 20	3-5%
3. Granular material: Use 1/2" gravel crushed stone or gravel conforming with the "Standard Specifications for Sewer and Water Construction in Wisconsin", with the following gradation:

Sieve Size	Percent Passing
1/2 inch	100%
3/4 inch	90-100%
No. 10	49-60%
No. 20	3-5%
4. Excavated granular materials: A mixture of sand and gravel, free from organic matter, clay, loam, silt and other foreign material, passing the 1/2-inch sieve, with not more than 15 percent passing the No. 200 sieve. Double check. Clean, well-graded, suitable angular material crushed from bedrock limestone, dolomite, or granite.

Keller
PLANNERS ARCHITECTS BUILDERS

FOR OFFICE: 1800 Main Street, Madison, WI 53703
PHONE 608 266-5700 FAX 608 266-5900

MILWAUKEE: 1000 N. Lincoln Ave., Milwaukee, WI 53233
PHONE 414 224-1100 FAX 414 224-1100

WISCONSIN: 1000 N. Lincoln Ave., Milwaukee, WI 53233
PHONE 414 224-1100 FAX 414 224-1100

www.kellerinc.com

GOLDEN OIL - SOMERS GATEWAY CENTER

PROPOSED DEVELOPMENT FOR:

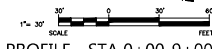
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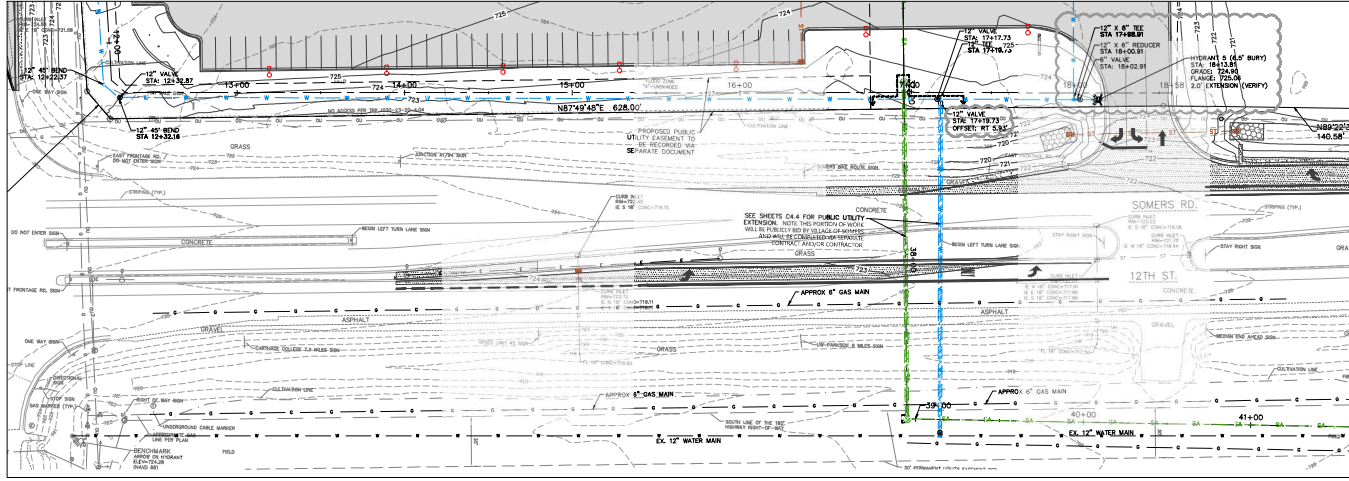
REVISIONS:
▲ JAN. 20, 2025
▲ APR. 8, 2025

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPIRATOR: S. LAMON
SUPERVISOR: T. RUDE
PRELIMINARY NO: P22188
CONTRACT NO: 80550

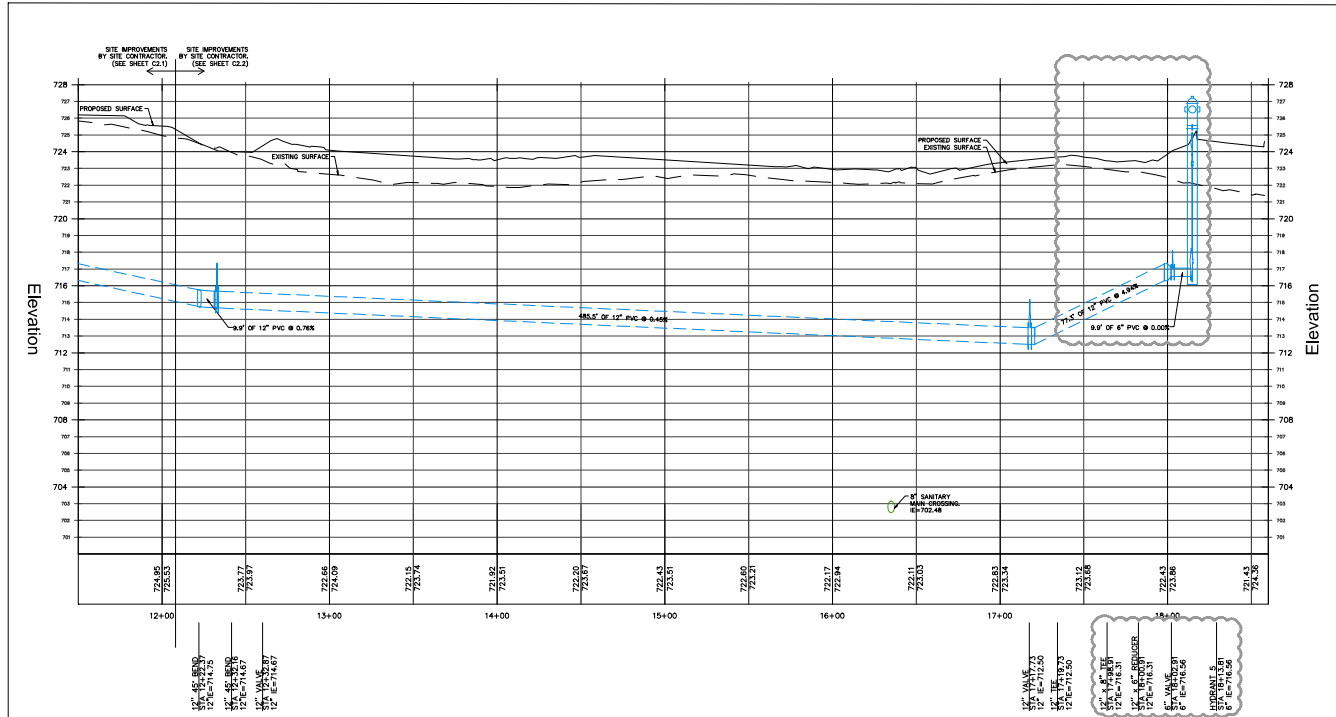
DATE: OCT. 28, 2024
SHEET: C2.0

PUBLIC UTILITY EXTENSION PLAN & PROFILE - STA 0+00-9+00

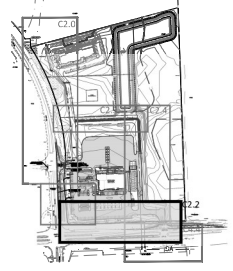




PLAN VIEW
SCALE 1"=30'



PROFILE VIEW
HORIZONTAL 1"=30'
VERTICAL 1"=5'



PUBLIC MAIN
EXTENSION KEY PLAN
N.T.S.

VERTICAL DATUM CONVERSION
1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD83
2. NAVD83 - NAVD88 = 0.17 FT



Keller
PLANNERS ARCHITECTS BUILDERS

FOR OFFICE
1515 West 10th St
PO Box 620
Madison, WI 53703
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FAX 608 786-5704

MILWAUKEE
1000 N. Lincoln Ave
Madison, WI 53703
PHONE 608 255-8741
FAX 608 255-8741

WISCONSIN
www.kellerwi.com

PROPOSED DEVELOPMENT FOR:
GOLDEN OIL - SOMERS GATEWAY CENTER
SOMERS

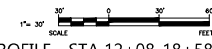
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REVISIONS

NOV. 22, 2024	

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEIOR: S. LAMON
SUPERVISOR: T. RUDE
PRELIMINARY NO: P22188

CONTRACT NO: 80550
DATE: OCT. 28, 2024

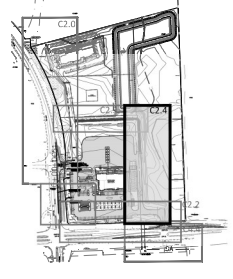


PUBLIC UTILITY EXTENSION PLAN & PROFILE - STA 12+08-18+58

ISSUED FOR CONSTRUCTION

SHEET: **C2.2**

SPECIFICATION NOTE:
SEE SHEET C0.2 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



**PUBLIC MAIN
EXTENSION KEY PLAN**

VERTICAL DATUM CONVERSION

1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD83
2. NAVD83 = MAND83 + 0.117 FT.

SPECIAL GRANULAR BACKFILL NOTE:

FOR CONDUITS REQUIRING EXCAVATION BENEATH OR WITHIN 4 FEET HORIZONTALLY OF DRIVEWAYS OR SIDEWALKS OR IN OTHER AREAS WHICH, IN THE OPINION OF THE VILLAGE ENGINEER, ARE OR MAY BE SUBJECT TO VEHICULAR TRAFFIC LOADING, SPECIAL GRANULAR BACKFILL SHALL BE PROVIDED ABOVE THE TOP OF THE BEDDING MATERIAL AND SHALL EXTEND UPWARD TO THE TOP OF GROUND OR PAVEMENT SUBGRADE. PROVIDE EITHER SAND, PIT RUN GRAVEL, GRANULAR MATERIAL, OR EXCAVATED GRANULAR MATERIALS:

1. Sand: Well graded, free from organic matter, conforming with the "Standard Specifications for Sewer and Water Construction in Wisconsin," with the following gradation:

Sieve Size	Percent Passing
4-inch	100%
No. 10	48-60%
Material finer than No. 200	2-5%

2. Pit run gravel: Free from organic matter, substandard granular material obtained from natural deposits of sand and gravel, passing 3/4-inch sieve, and not more than 1% percent passing the No. 200 sieve.

3. Granular material: Use 100 percent crushed stone or gravel conforming with the "Standard Specifications for Sewer and Water Construction in Wisconsin," with the following gradation:

Sieve Size	Percent Passing
1/4-inch	100%
3/4-inch	85-100%
3/8-inch	20-60%
No. 4	5-20%
No. 8	0-5%

4. Excavated granular materials: A mixture of sand and gravel, free from organic matter, clay, silt, and other foreign material, passing the 1/2-inch sieve, with not more than 1% percent passing the No. 200 sieve.

Crushed stone: Clean, hard, tough, durable, angular material crushed from bedrock (limestone, dolomite, or granite).

- a. Gradation requirements:

Sieve Size	Percent Passing
3-inch	100%
2 1/2-inch	80-100%
2-inch	35-70%
1 1/2-inch	5-15%
3/4-inch	0-5%

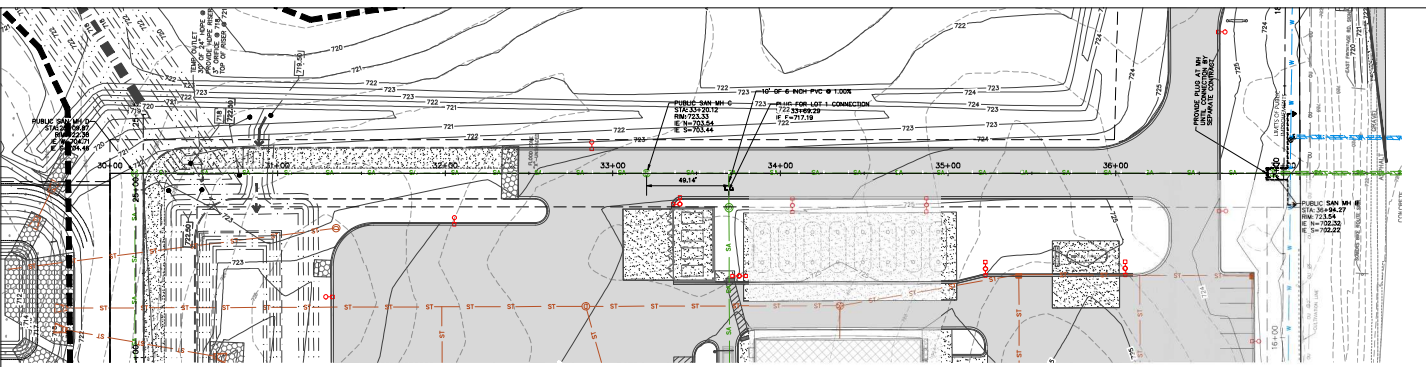
GOLDEN OIL - SOMERS GATEWAY CENTER

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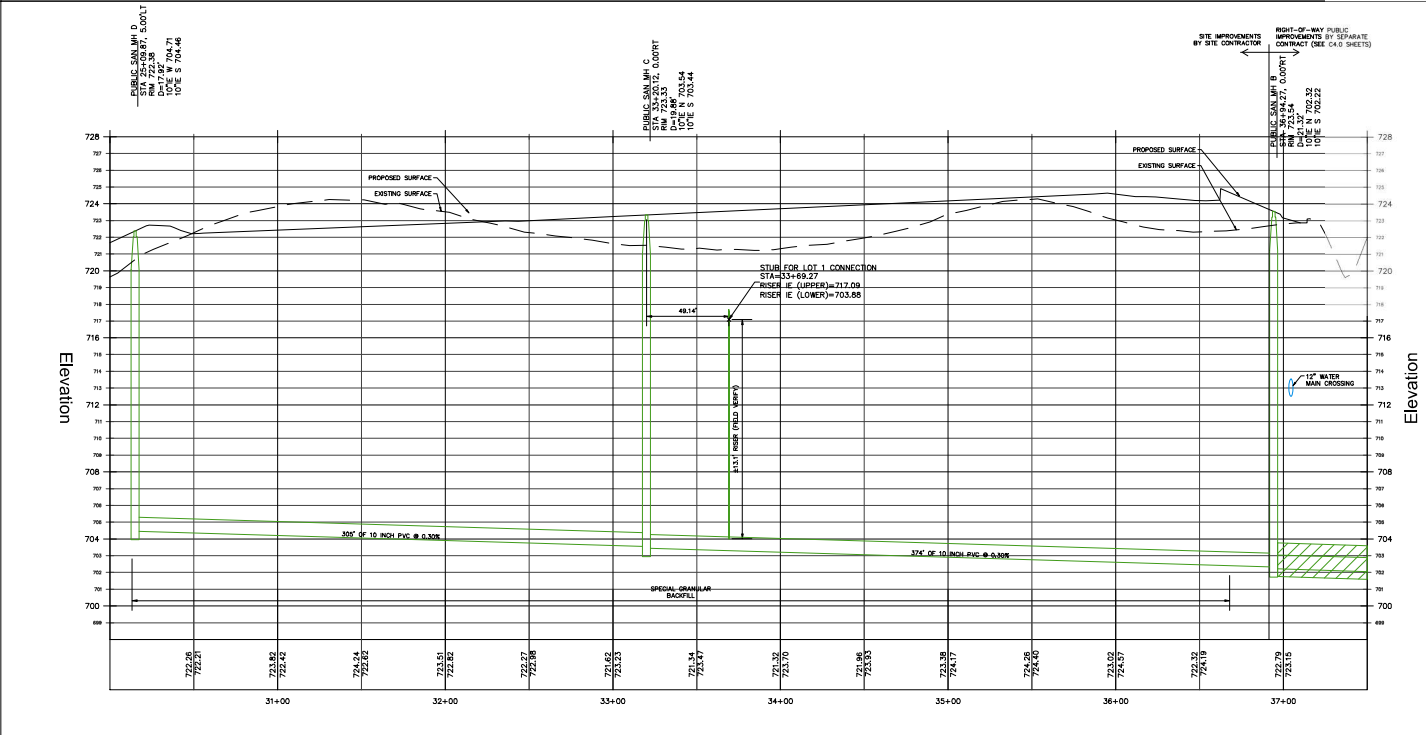
REVISIONS

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEIOR: S. LAMON
SUPERVISOR: T. RUNDE
PRELIMINARY NO.: P22188
CONTRACT NO.: 80550

DATE: OCT. 28, 2024
SHEET: C2.4



PLAN VIEW
SCALE: 1"=30'

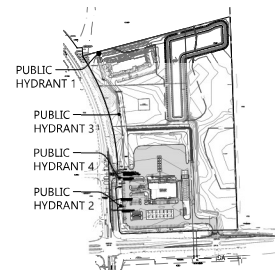


PROFILE VIEW
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'

SPECIFICATION NOTE:
SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

PUBLIC UTILITY EXTENSION PLAN & PROFILE - STA 30+00-37+06

ISSUED FOR CONSTRUCTION



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOR OFFICE: NEW YORK, NY, P.O. Box 620, Madison, WI 53703, PHONE 608 786-5700 / 1-800-286-2524, FAX 608 786-5004

FOR OFFICE: MADISON, WI 53703, 1500 Valley Drive, Lakeside, WI 53022, PHONE 608 445-2340, FAX 608 786-5004

FOR OFFICE: MILWAUKEE, WI 53201, 5000 N. 111th St., Columbus, WI 53002, PHONE 414 893-2141, FAX 414 893-9100

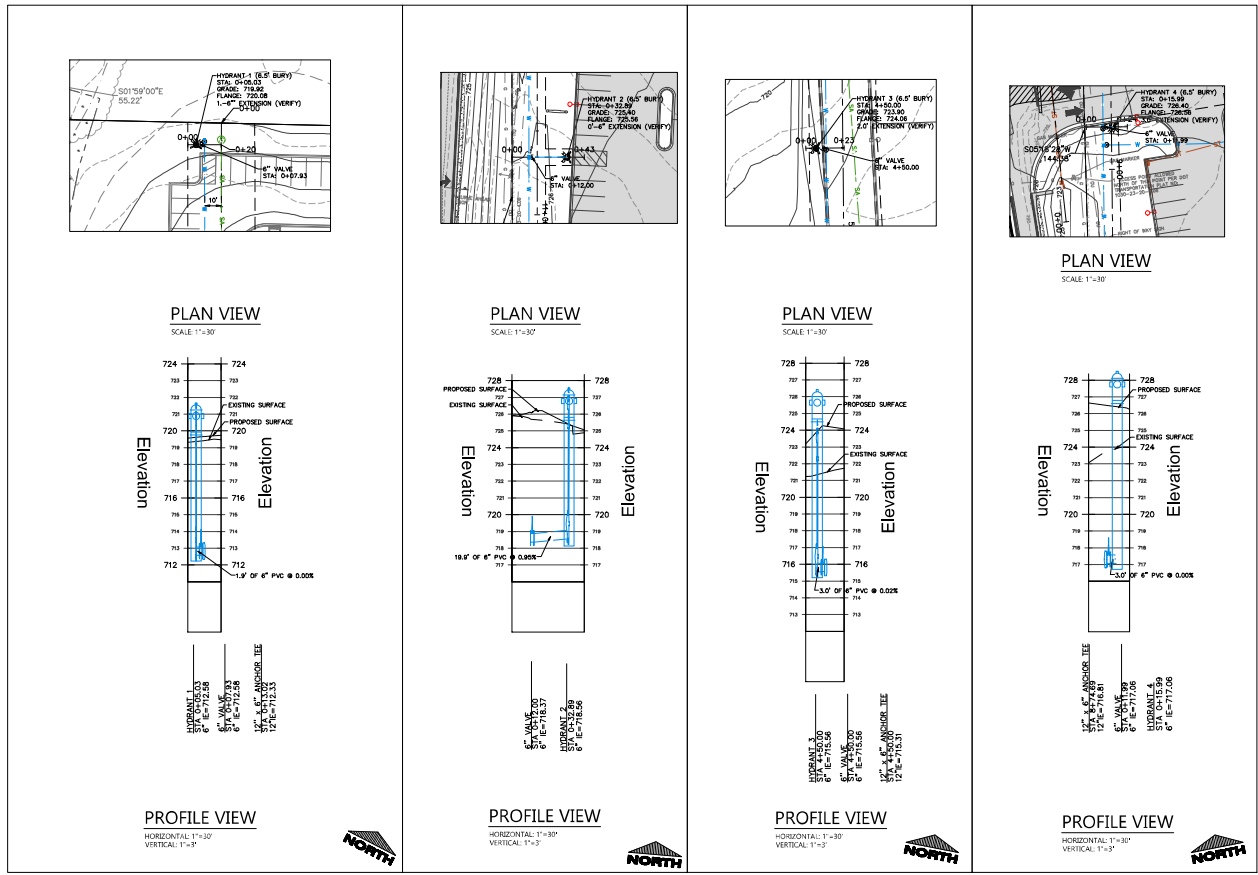
FOR OFFICE: WAUSAU, WI 54981, 5000 Lake Ave., Waunakee, WI 53188, PHONE 608 839-3141, FAX 608 839-0300

www.kellerusa.com

PUBLIC HYDRANT KEY PLAN

NOTE:
VERTICAL DATUM CONVERSION:
1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD83
2. NAVD83 = NAVD86 + 0.17 FT

SPECIFICATION NOTE:
SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



PUBLIC HYDRANT 1 PUBLIC HYDRANT 2 PUBLIC HYDRANT 3 PUBLIC HYDRANT 4

WISCONSIN

SOMERS

PROPOSED DEVELOPMENT FOR:

GOLDEN OIL - SOMERS GATEWAY CENTER

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REVISIONS

PROJECT MANAGER: N. LAURENT
DESIGNER: R. LINDSTROM
DRAWN BY: EXCEL ENGINEERING
EXPEIDTOR: S. LAMON
SUPERVISOR: T. RUNDE
PRELIMINARY NO: P22188
CONTRACT NO: 80550

DATE: OCT. 28, 2024

SHEET: **C2.5**

ISSUED FOR CONSTRUCTION

SCALE: 1" = 30'

PUBLIC HYDRANT PLAN & PROFILES
EXCEL JOB # 226000

**IRREVOCABLE LETTER OF CREDIT
NUMBER _____**

Issue Date:

Beneficiary: Village of Somers, Kenosha County, Wisconsin

Amount: \$ _____

Expiration Date: _____, 20 ____

Gentlemen:

_____ (“Bank”) hereby establishes, at the request of and for the account of _____, in favor of the Village of Somers, Wisconsin (“Beneficiary”), our Irrevocable Letter of Credit Number _____ for the sum or sums not exceeding _____ (\$ _____) Dollars (the “Credit Amount”) available _____, 20____, and expiring on _____, 20____ (the “Expiration Date”). The Credit Amount is available to Beneficiary against presentation of Beneficiary’s draft(s) at sight drawn on Bank at _____.
Bank Address

Each request drawn under this Letter of Credit must be accompanied by:

- (i) an original executed Sight Draft, in the form attached hereto as Annex A (the “Sight Draft”);
- (ii) an original executed certification, in the form of a letter, on Beneficiary’s letterhead, in the form attached hereto as Annex B (the “Certification”); and
- (iii) this original Letter of Credit, so that the amount of any partial draw upon this Letter of Credit can be marked or reflected thereon, prior to being returned to the Beneficiary, or so that this Letter of Credit can be retained and canceled if the entire balance or remaining balance or the Credit Amount is drawn hereunder.

This Letter of Credit shall expire on the earlier to occur of:

- (i) the Expiration Date;
- (ii) the date on which Beneficiary surrenders this Letter of Credit to Bank for cancellation; or
- (iii) payment at any time by Bank of the entire balance or the remaining balance of the Credit Amount. If the Expiration Date of this Letter of Credit is not a business day (as defined below), then this Letter of Credit shall expire at Bank’s close of business on the first business day (as defined below) thereafter. Beneficiary shall promptly deliver this Letter of Credit to Bank upon expiry.

We hereby engage with the Beneficiary that all drafts drawn under and in strict compliance with the terms of this Letter of Credit will be duly honored by us upon presentation to Bank of the applicable Sight Draft, the Certification and the Letter of Credit as specified above at the aforesaid address during Bank's business hours and any day on which Bank is open for business (a "business day") through the Expiration Date.

The Credit Amount of this Letter of Credit shall be automatically reduced by the amount of any previous payments by Bank hereunder, regardless of whether any such payment is marked or reflected on this Letter of Credit.

The Bank hereby undertakes and engages that all demands made in conformity with this Letter of Credit will be duly honored upon presentation. If, within three (3) days after the date of any demand for payment (which shall be made in conformity with this Letter of Credit) is presented, the Bank fails to honor the same, the Bank agrees to pay all attorneys fees, court costs and other expenses incurred by Village in enforcing the terms of this Letter of Credit.

This Letter of Credit is irrevocable and unconditional. This Letter of Credit sets forth in full the terms of bank's undertaking, and this undertaking shall not in any way be modified, amended or amplified by references to any document, instrument or agreement referred to herein or in which this Letter of Credit is referred to or to which this Letter of Credit relates and any such reference shall not be deemed to incorporate herein by reference any document, instrument or agreement.

This Letter of Credit is not transferrable or assignable, except with the prior written consent of Bank. Please address all correspondences regarding this Letter of Credit to the attention of _____, mentioning our reference number as it appears above.

Sincerely,

_____ BANK

By: _____

ANNEX A

(TO _____ BANK)
Letter of Credit No. _____

SIGHT DRAFT

DRAWN UNDER _____ BANK IRREVOCABLE LETTER OF CREDIT NO. _____

Amount: _____

Date: _____

At sight pay to the order of **THE VILLAGE OF SOMERS, WISCONSIN:**

Amount: _____

(Beneficiary)

By: _____
Name

Its: _____
Title

To: _____

Address: _____

ANNEX B

(To _____ Bank)
Letter of Credit No. _____

Bank Address

Attention: _____

Gentlemen:

The undersigned holds the office and position set forth below and is authorized to make the certification herein provided on behalf of THE VILLAGE OF SOMERS, WISCONSIN (“Beneficiary”). Beneficiary hereby certifies to _____ Bank (the “Bank”) as follows:

That the amount of the accompanying sight draft is due and payable to THE VILLAGE OF SOMERS, WISCONSIN.

(Beneficiary)

By: _____
Name

Its: _____
Title

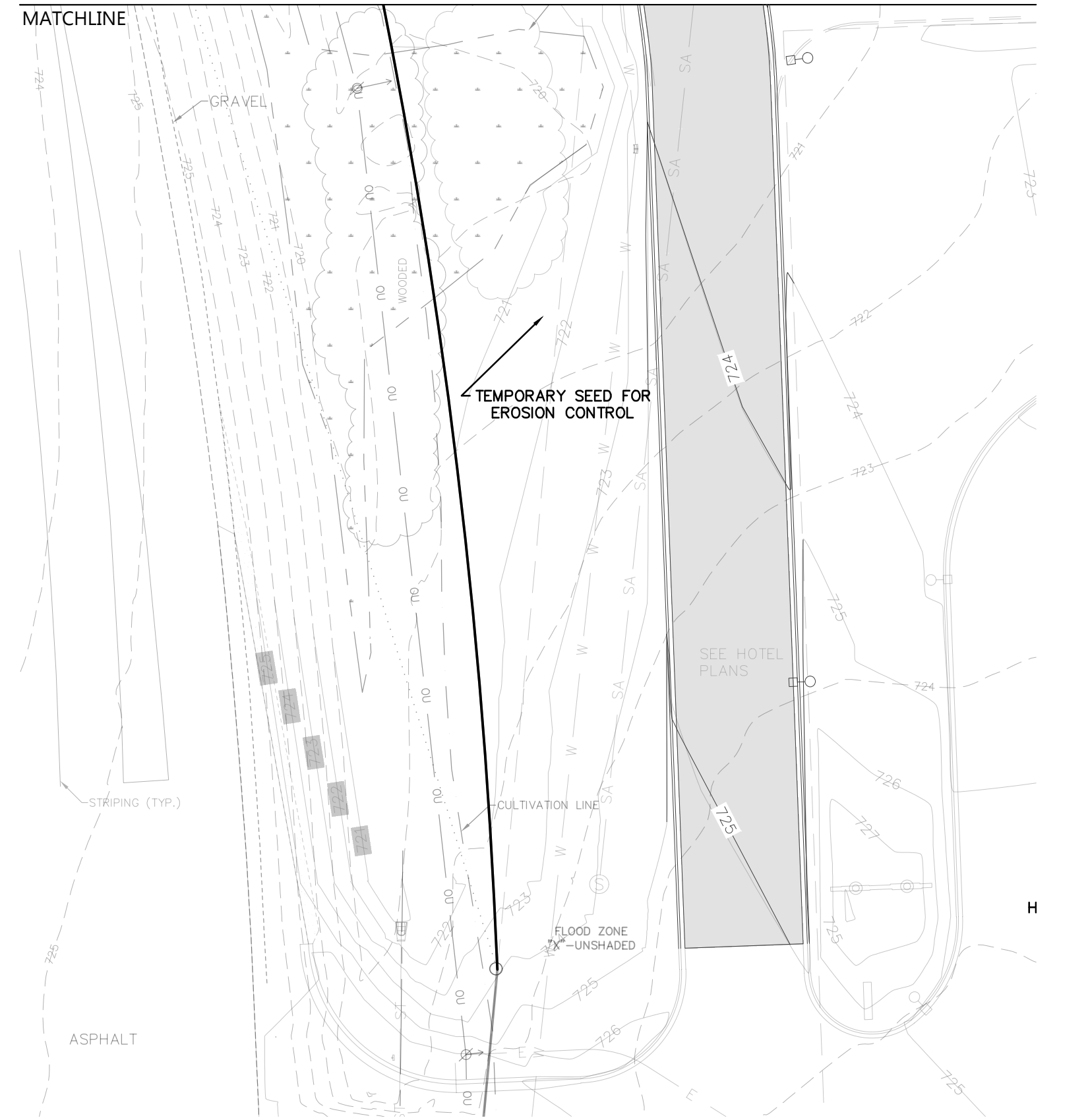


VERTICAL DATUM CONVERSION
1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD88
2. NGVD29 = NAVD88 + 0.17 FT

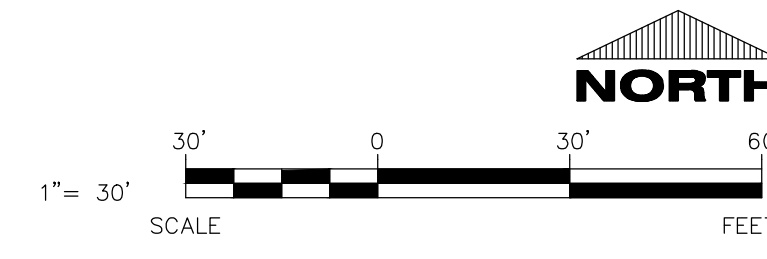
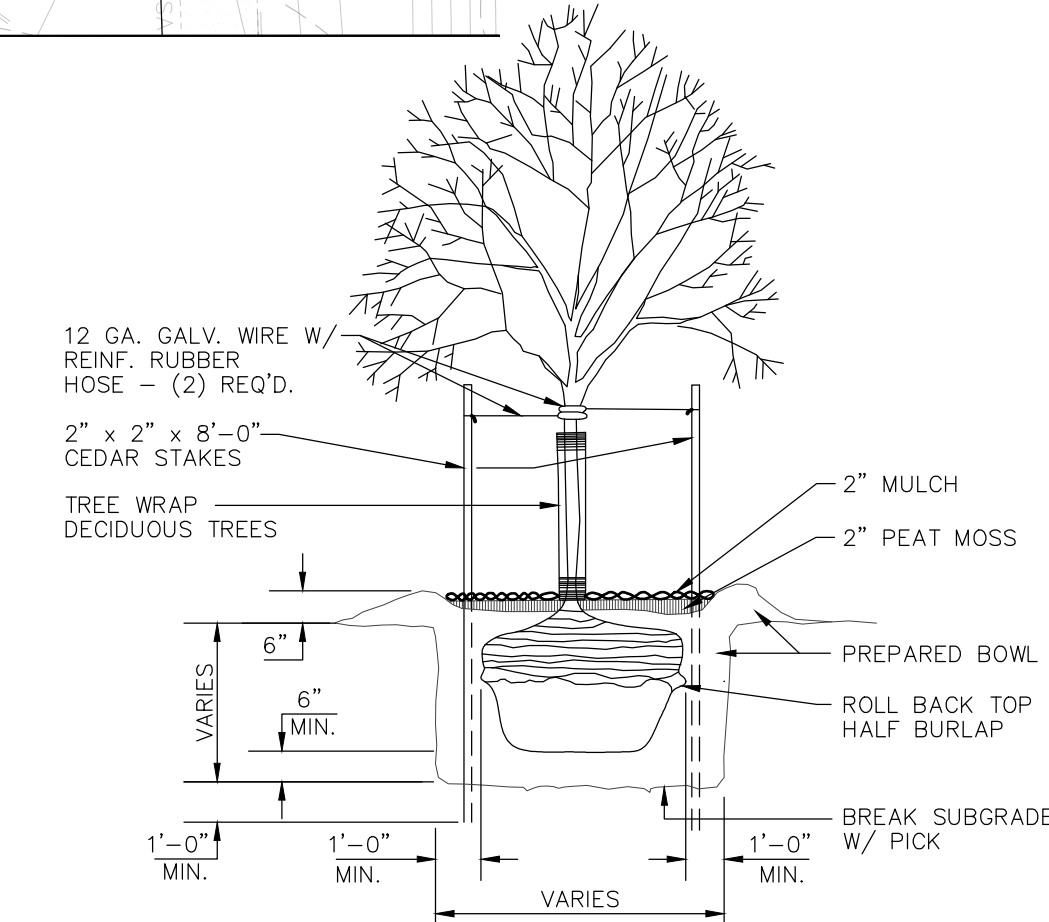
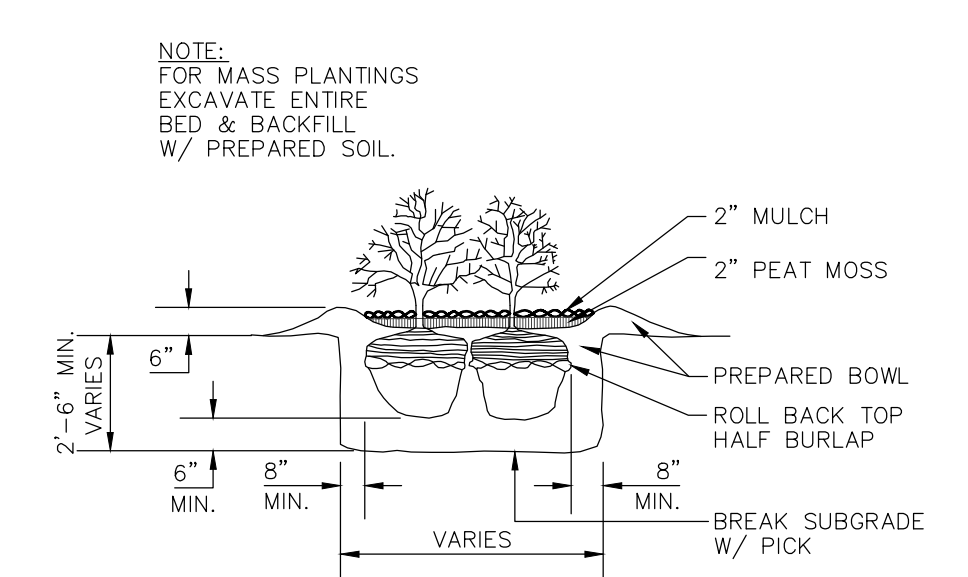
SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
⊙	Aurum Blaze Maple	Acer x freemanii 'Jeffers'	2"	5
⊙	Greenspire Linden	Tilia cordata	2"	7
⊙	Flowering Crabapple (Spring Snow)	Malus x hybrid (Spring Snow)	2"	10
⊙	Japanese Tree Lilac	Syringa reticulata	5" tall	5
EVERGREEN TREES				
⊙	Black Hills Spruce	Picea glauca	6"	9
⊙	Austrian Pine	Pinus nigra	4"	9
DECIDUOUS SHRUBS				
⊙	Weigela Carnival	Weigela Florida 'cortland'	24"	37
⊙	Goldmound Spirea	Spiraea x bumalda 'Goldmound'	24"	29
⊙	Shrub Roses	Explorer series 'Alex Mackenzie'	1 gal pot	32
⊙	Sunrise Forsythia	Forsythia 'Sunrise'	18"-24"	50
EVERGREEN SHRUBS				
⊙	Techny Arborvitae	Thuja occidentalis	48"	12
⊙	Wintergreen Boxwood	Buxus microphylla var. 'Wintergreen'	42"-48"	70
PERENNIALS				
⊙	Karl Foerster Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal pot	41
⊙	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	18
⊙	Oriental Lily - Friso	Lilium	1 gal pot	6
⊙	Creeping Broadleaf Sedge	Carex siderosticha	1 gal pot	16

LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
OPEN YARD AREA	1 DECIDUOUS/EVERGREEN TREE PER 1,000 SF 2 ORNAMENTAL TREES OR 2 SHRUBS+1 TREE 40,000 SF/1,000 SF = 40 TREES	12 EVERGREEN TREES PROVIDED 4 DECIDUOUS TREES PROVIDED 4 EVERGREEN SHRUBS PROVIDED 62 DECIDUOUS SHRUBS PROVIDED
BUILDING FOUNDATION	1 ORNAMENTAL TREE OR 2 SHRUBS PER 20' 643'/20' = 33 TREES OR 66 SHRUBS	27 EVERGREEN SHRUBS PROVIDED 39 DECIDUOUS SHRUBS PROVIDED 79 PERENNIALS PROVIDED
STREET FRONTAGE (WEST)	1 EVERGREEN/DECIDUOUS TREE PER 50' 2 ORNAMENTAL TREES OR 2 SHRUBS+1 TREE 226'/50' = 5 EVERGREEN/DECIDUOUS TREES	5 DECIDUOUS TREES
PARKING LOT	1 EVERGREEN/DECIDUOUS TREE PER 25' 2 ORNAMENTAL TREES OR 4 SHRUBS+1 TREE 828'/25' = 34 EVERGREEN/DECIDUOUS TREES	10 DECIDUOUS TREES PROVIDED 6 EVERGREEN TREES PROVIDED 43 EVERGREEN SHRUBS PROVIDED 29 DECIDUOUS SHRUBS PROVIDED
PARKING LOT (INTERIOR)	EVERY INTERNAL LANDSCAPE ISLAND SHALL CONTAIN AT LEAST ONE DECIDUOUS OR EVERGREEN TREE	PROVIDED



IRRIGATION NOTE:
CONTRACTOR TO COORDINATE WITH IRRIGATION DESIGNER. SEE SHEET CO.1 FOR SPECIFICATIONS AND REQUIREMENTS.



EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
SOMERS HOTEL
SOMERS • WI, 53171

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 11, 2024

REVISIONS

NO.	DESCRIPTION

JOB NUMBER

230477100

SHEET NUMBER

C1.4



DUAL BRAND PROTOTYPE DESIGN GUIDELINE DRAWINGS June 21, 2021

IHG®

HOTELS & RESORTS

THREE RAVINIA DRIVE
SUITE 100
ATLANTA, GA 30346

PROTOTYPE SET
NOT FOR CONSTRUCTION

AN IHG® HOTEL



CANDLEWOOD SUITES

AN IHG® HOTEL

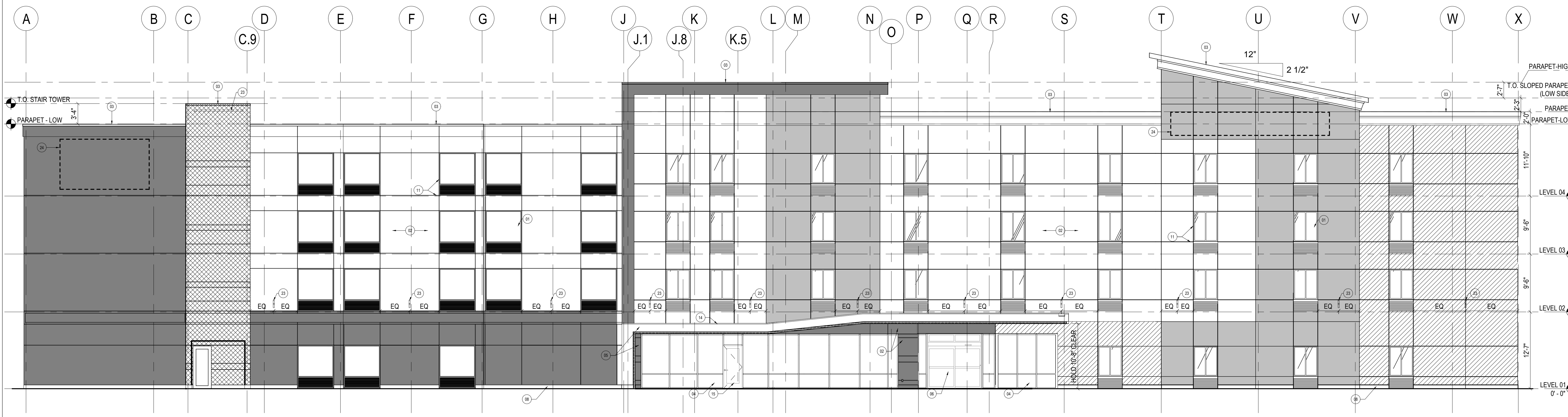
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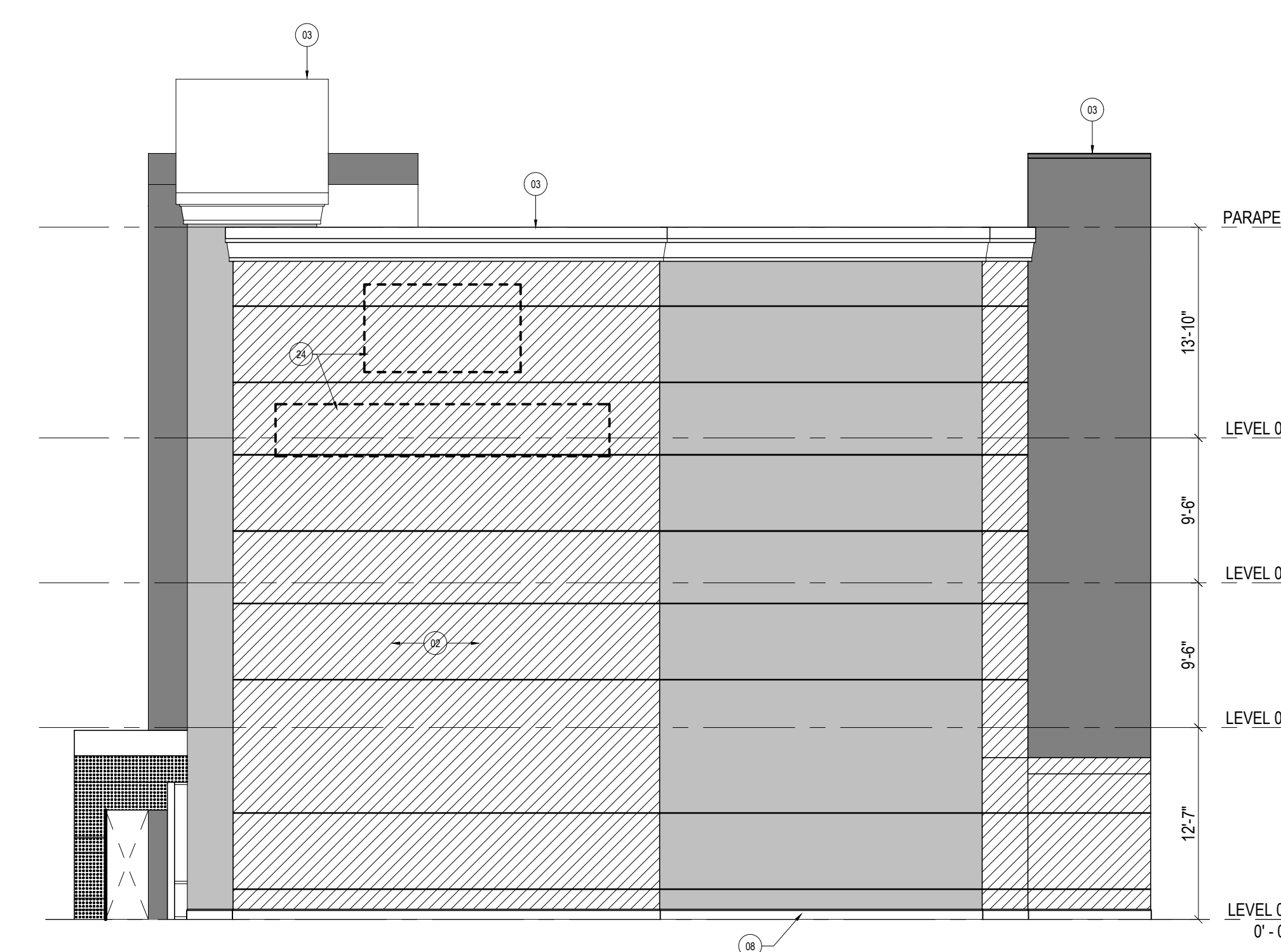
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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

02



EAST ELEVATION
SCALE: 1/8" = 1'-0"

01

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING - COLOR TO MATCH ADJACENT WALL FINISH
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR CLADDING SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND STOREFRONT DOOR
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 PAINT DOOR AND FRAME TO MATCH ADJACENT FINISH
- 11 3/4" CONTROL JOINT
- 12 3/4" REVEAL (TYP.)
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 20 PREFABRICATED CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL FINISH
- 23 EXTERIOR LIGHT FIXTURE, REF. ELECT. AND LIGHTING DWGS.
- 24 LOCATION FOR BUILDING SIGNAGE, PROVIDE ELECTRICAL SERVICE TO LOCATIONS WHERE SIGNAGE TO BE INSTALLED. REFER TO IHG SIGNAGE GUIDELINES FOR MORE INFORMATION.

GENERAL NOTES

- A. SEE IHG SUPPLEMENTAL EXTERIOR FINISHES DOCUMENT FOR INFORMATION ON MATERIALS, SYSTEMS, AND COLORS.
- B. TEMPERED GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL BUILDING CODES.
- C. COORDINATE PLACEMENT OF ALL LOUVERS, VENTS, AND OTHER EXTERIOR ELEMENTS WITH LOCATIONS OF SCORE JOINTS (TYP.).
- D. ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE WITH FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES, AND ACCESSIBILITY CODES.
- E. AUTOMATIC FIRE SPRINKLER SYSTEM MUST BE REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- F. FIRE ALARM SYSTEM IS REQUIRED. SYSTEM MUST BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT.
- G. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH MANUFACTURER ON FIXTURES, EQUIPMENT SUPPLIED, PRIOR TO CONSTRUCTION.

CONSULTANT DISCLAIMER
This is a Prototype design only. The drawings include plans, sections, elevations, typical construction details, diagrammatic layouts of the building systems and related information to convey the design intent for architectural, structural, mechanical, electrical, plumbing and technology systems. The design set forth with these documents may not be suitable for a particular site or certain local conditions. InterContinental Hotels Group and its retained consultants that prepared these documents are not responsible for adaptation of the design to a particular site, compliance of the design with applicable laws, regulations, ordinances and codes, or final design reviews required to prepare construction documents. The Franchisee and its retained architect and engineering consultants shall be exclusively responsible for all construction documents prepared for each hotel derived from this prototype documentation.

MATERIAL LEGEND

- EXTERIOR CLADDING SYSTEM - B1
- EXTERIOR CLADDING SYSTEM - B2
- EXTERIOR CLADDING SYSTEM - B3
- EXTERIOR CLADDING SYSTEM - EC-02
- EXTERIOR CLADDING SYSTEM - EC-03
- EXTERIOR CLADDING SYSTEM - EC-04

NOT FOR CONSTRUCTION

Project Name
DUAL BRAND PROTOTYPE

Project Number

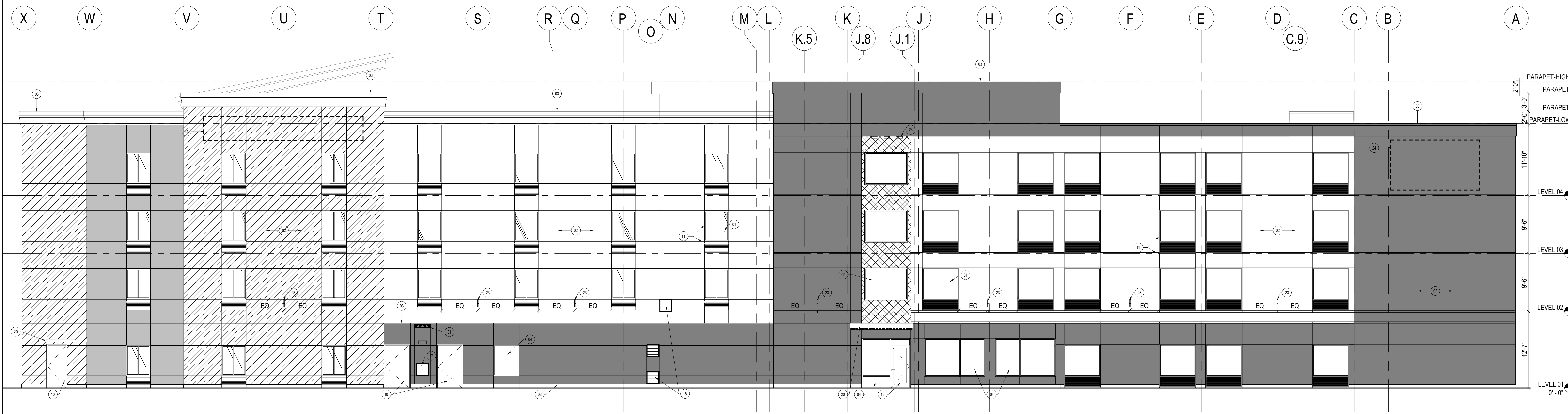
Description
BUILDING ELEVATIONS - EAST & SOUTH

Scale
AS INDICATED

A4.00

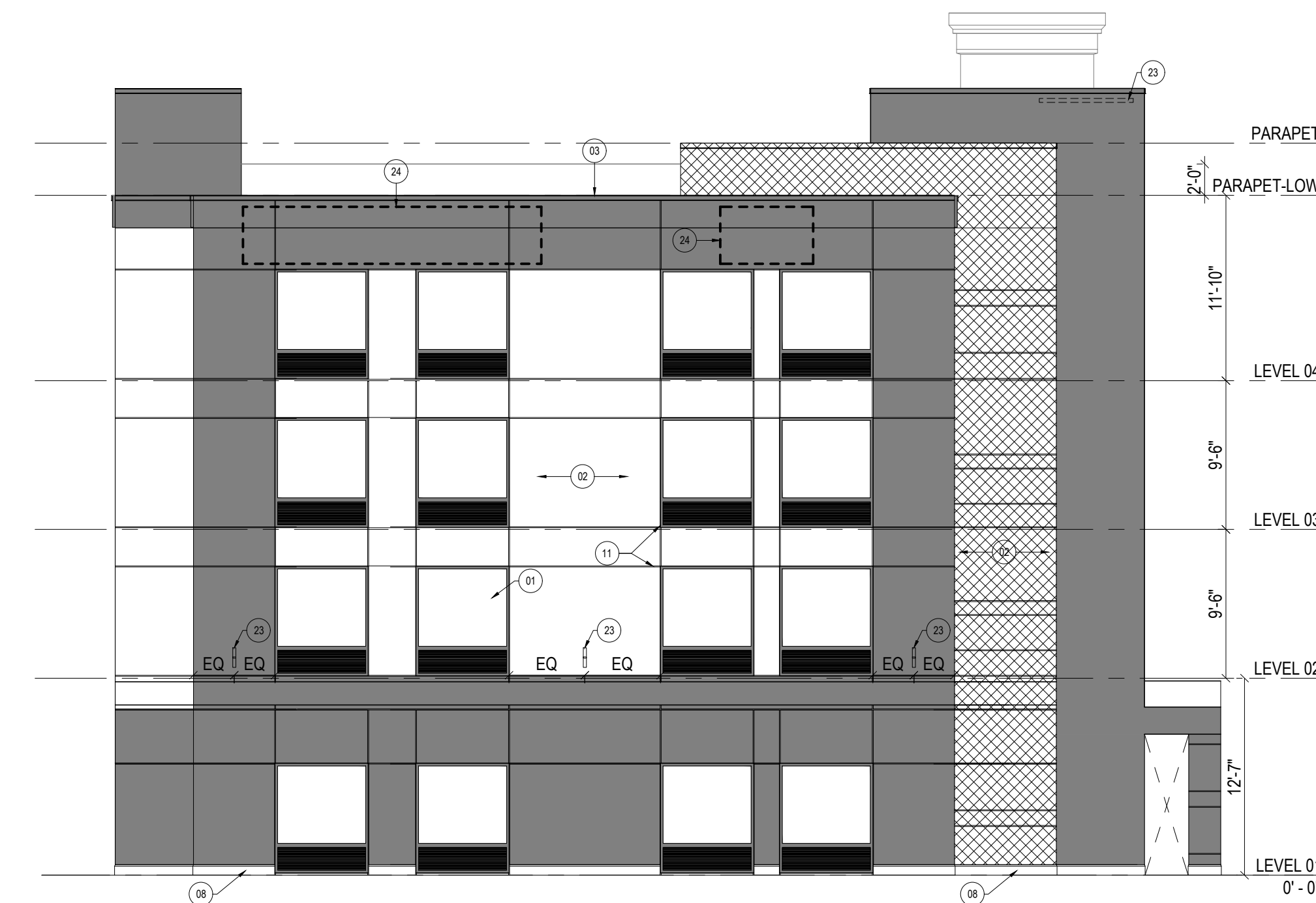


Issue Date	Description
2021/07/11	DESIGN GUIDELINE DRAWINGS



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

02



WEST ELEVATION
SCALE: 1/8" = 1'-0"

01

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL CORING - COLOR TO MATCH ADJACENT WALL FINISH
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR CLADDING SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 PAINT DOOR AND FRAME TO MATCH ADJACENT FINISH
- 11 3/4" CONTROL JOINT
- 12 3/4" REVEAL (TYP.)
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS
- 20 PREFABRICATED CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 23 EXTERIOR LIGHT FIXTURE, REF. ELECT. AND LIGHTING DWGS.
- 24 LOCATION FOR BUILDING SIGNAGE, PROVIDE ELECTRICAL SERVICE TO LOCATIONS WHERE SIGNAGE TO BE INSTALLED, REFER TO IHG SIGNAGE GUIDELINES FOR MORE INFORMATION.
- 31 GAS WATER HEATER - CONCENTRIC VENTS

GENERAL NOTES

- A. SEE IHG SUPPLEMENTAL EXTERIOR FINISHES DOCUMENT FOR INFORMATION ON MATERIALS, SYSTEMS, AND COLORS.
- B. TEMPERED GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL BUILDING CODES.
- C. COORDINATE PLACEMENT OF ALL LOUVERS, VENTS, AND OTHER EXTERIOR ELEMENTS WITH LOCATIONS OF SCORE JOINTS (TYP.).
- D. ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE WITH FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES, AND ACCESSIBILITY CODES.
- E. AUTOMATIC FIRE SPRINKLER SYSTEM MUST BE REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- F. FIRE ALARM SYSTEM IS REQUIRED. SYSTEM MUST BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT.
- G. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH MANUFACTURER ON FIXTURES, EQUIPMENT SUPPLIED, PRIOR TO CONSTRUCTION.

CONSULTANT DISCLAIMER
This is a Prototype design only. The drawings include plans, sections, elevations, typical construction details, diagrammatic layouts of the building systems and related information to convey the design intent for architectural, structural, mechanical, electrical, plumbing and technology systems. The design set forth with these documents may not be suitable for a particular site or certain local conditions. InterContinental Hotels Group and its retained consultants that prepared these documents are not responsible for adaptation of the design to a particular site, compliance of the design with applicable laws, regulations, ordinances and codes, or final design reviews required to prepare construction documents. The Franchisee and its retained architect and engineering consultants shall be exclusively responsible for all construction documents prepared for each hotel derived from this prototype documentation.

MATERIAL LEGEND

- EXTERIOR CLADDING SYSTEM - B1
- EXTERIOR CLADDING SYSTEM - B2
- EXTERIOR CLADDING SYSTEM - B3
- EXTERIOR CLADDING SYSTEM - EC-02
- EXTERIOR CLADDING SYSTEM - EC-03
- EXTERIOR CLADDING SYSTEM - EC-04

NOT FOR CONSTRUCTION

Project Name
DUAL BRAND PROTOTYPE

Project Number

Description
BUILDING ELEVATIONS - WEST & NORTH

Scale
AS INDICATED

A4.01



Issue Date	Description
2021/07/11	DESIGN GUIDELINE DRAWINGS

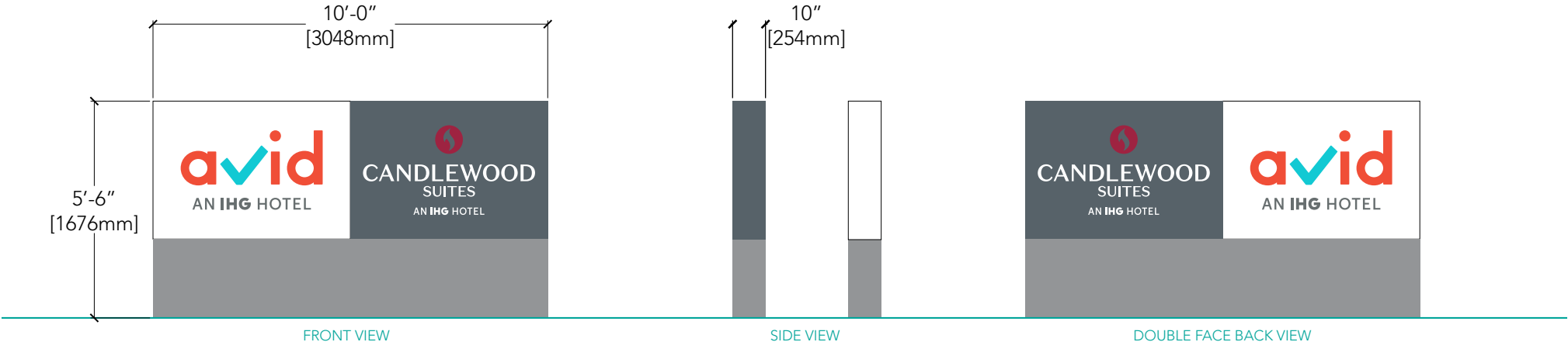


Dual Brand Preliminary Designs

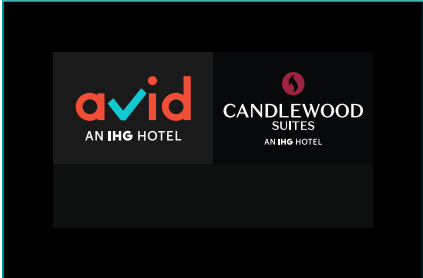
This document contains guidelines set by Colite to standardize signage throughout all locations. It is a design intent document ONLY and is not to be used for final construction.

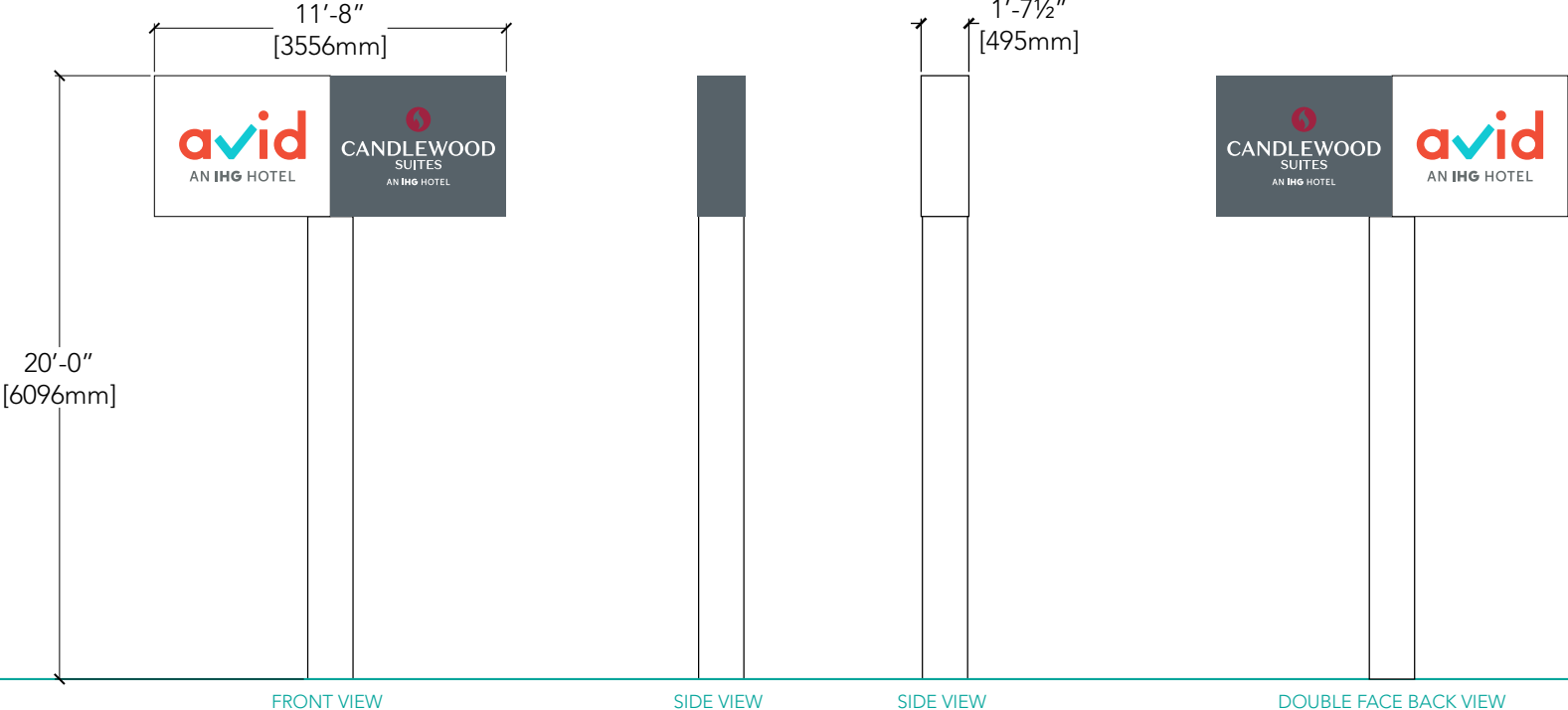
June 15, 2021

PRELIMINARY



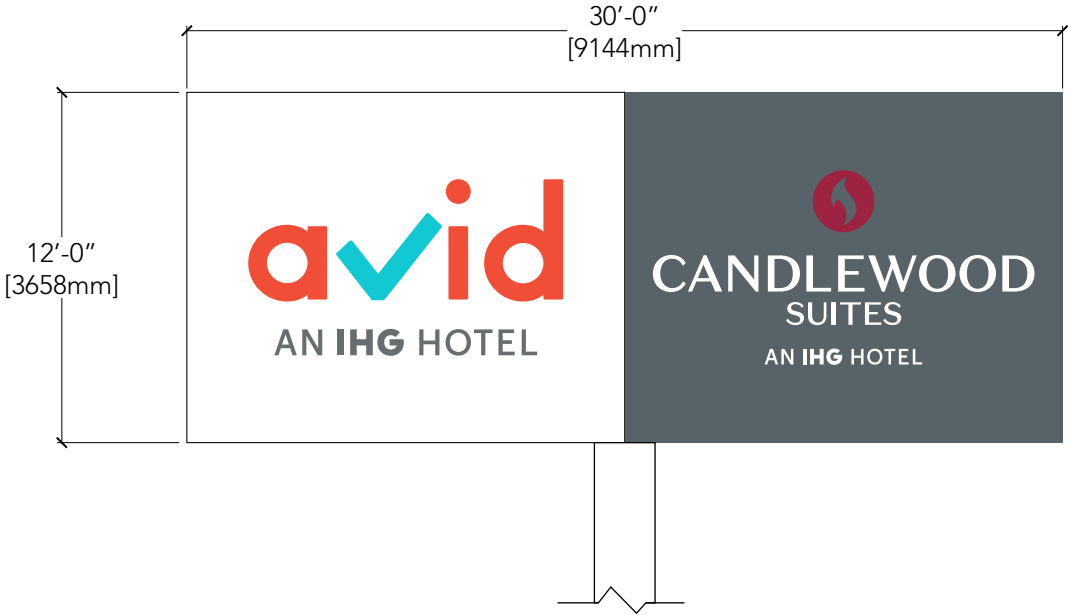
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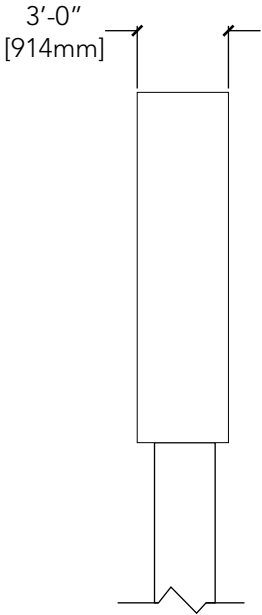


NIGHT VIEW:





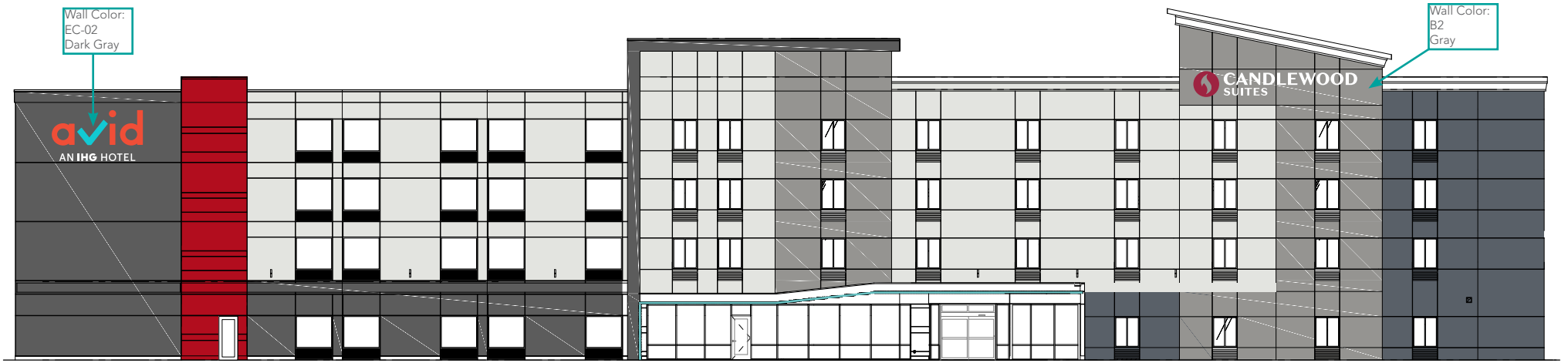
FRONT VIEW



SIDE VIEW

NIGHT VIEW:

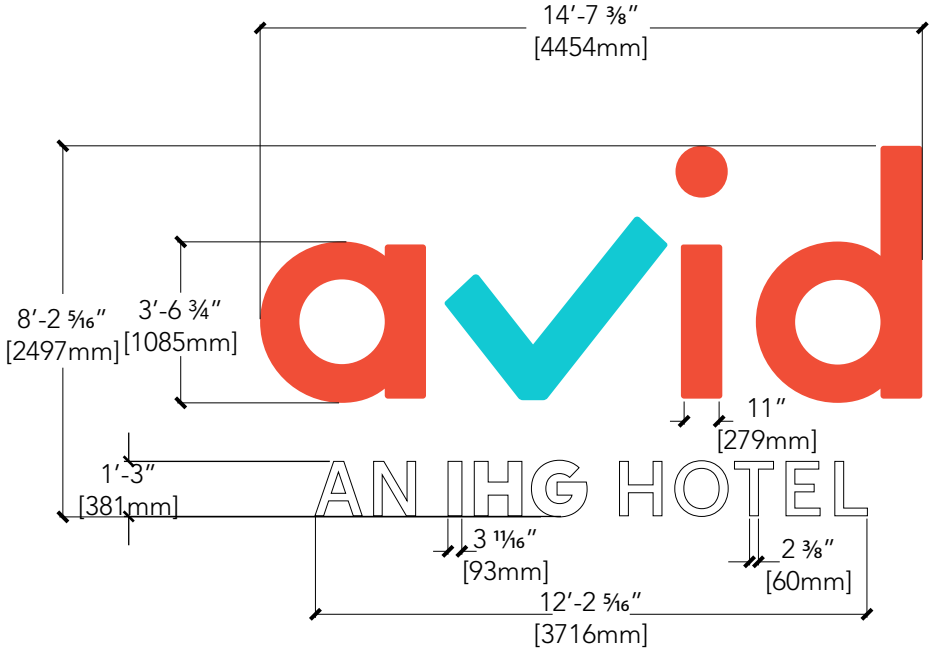




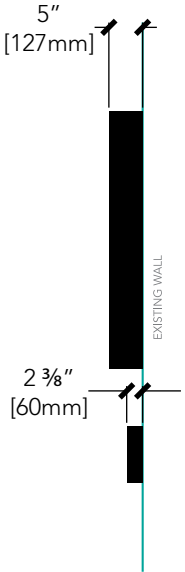
SOUTH ELEVATION



NORTH ELEVATION



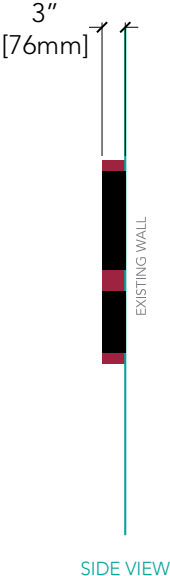
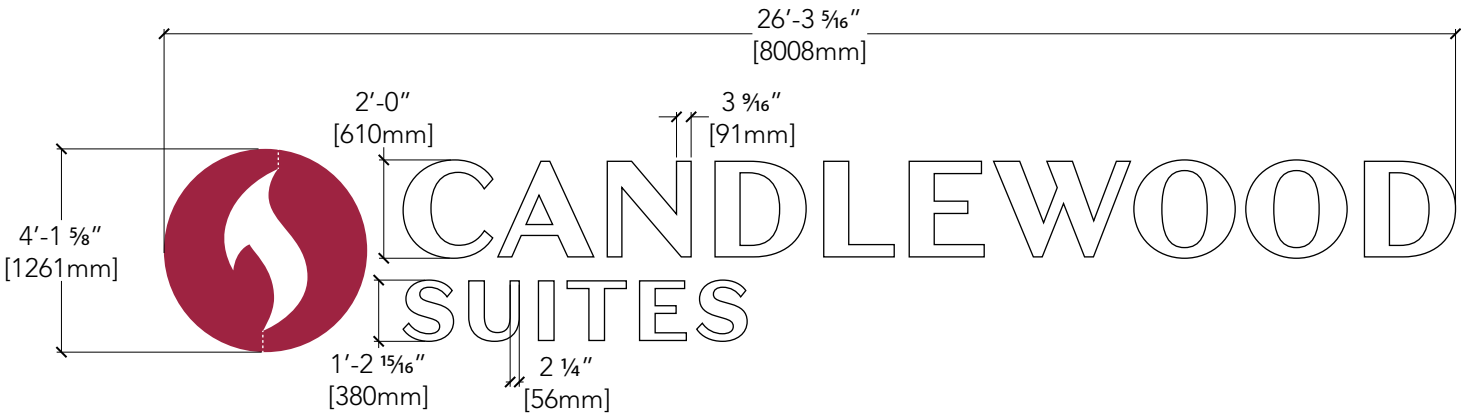
FRONT VIEW



SIDE VIEW

NIGHT VIEW:





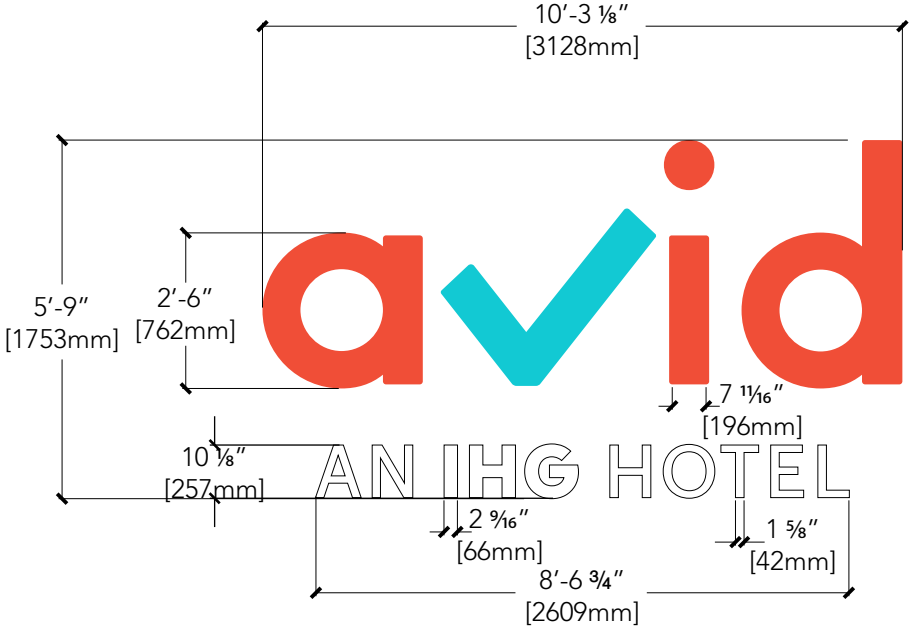
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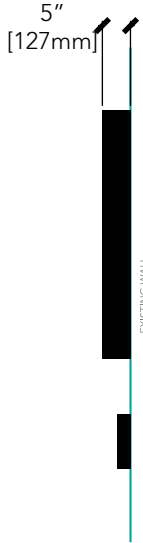


East Elevation LTRs

45/55 AVID-LTR-028-IL-EX-069H-X, CS-20-CL-L-W



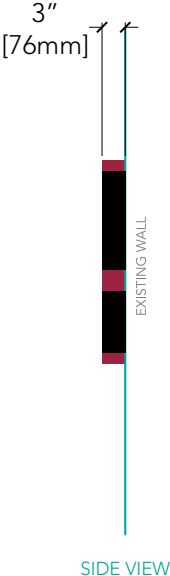
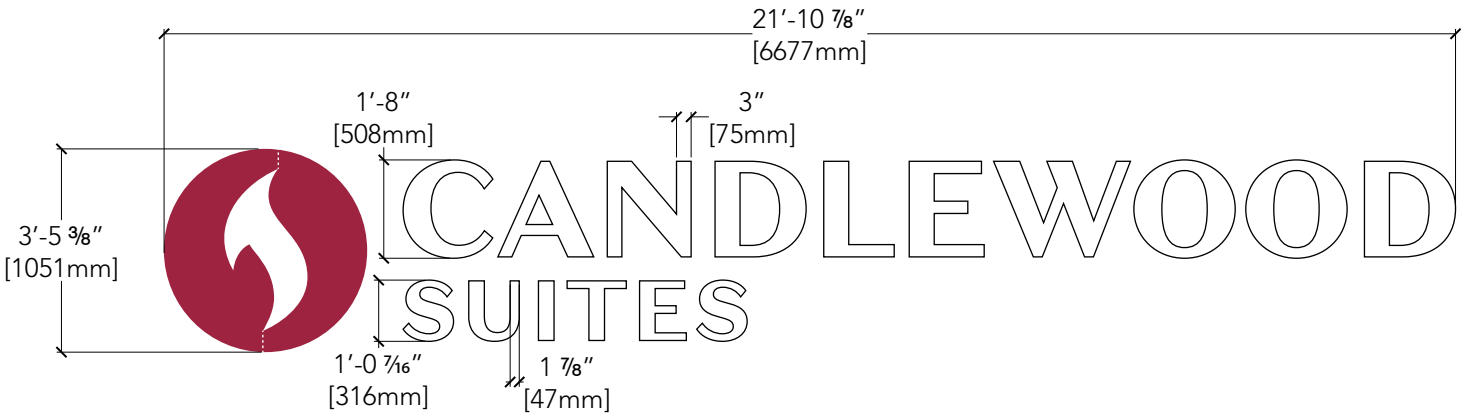
FRONT VIEW



SIDE VIEW

NIGHT VIEW:





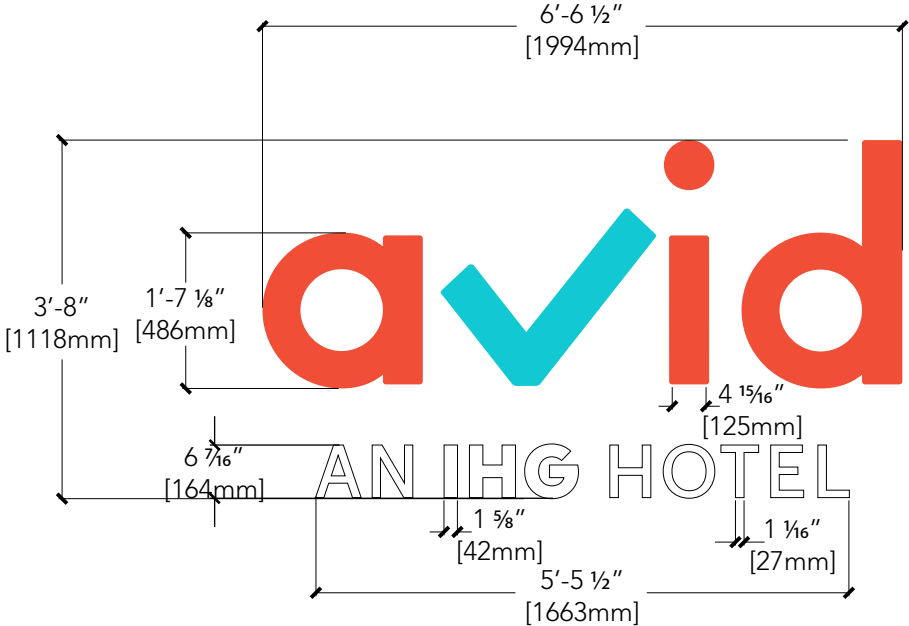
NIGHT VIEW:



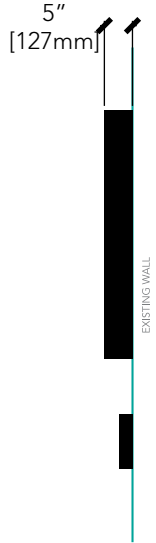


West Elevation LTRs

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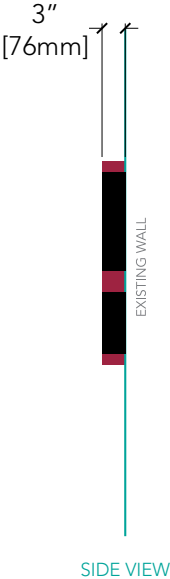
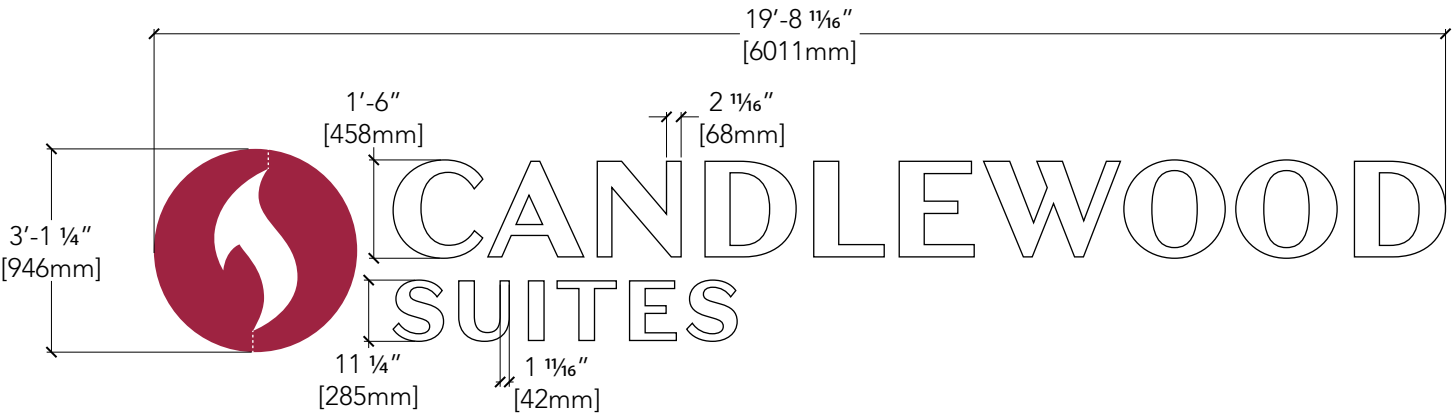
FRONT VIEW



SIDE VIEW

NIGHT VIEW:





NIGHT VIEW:





VERTICAL DATUM CONVERSION
 1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD88
 2. NGVD29 = NAVD88 + 0.17 FT

SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTES:
 1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 2. ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

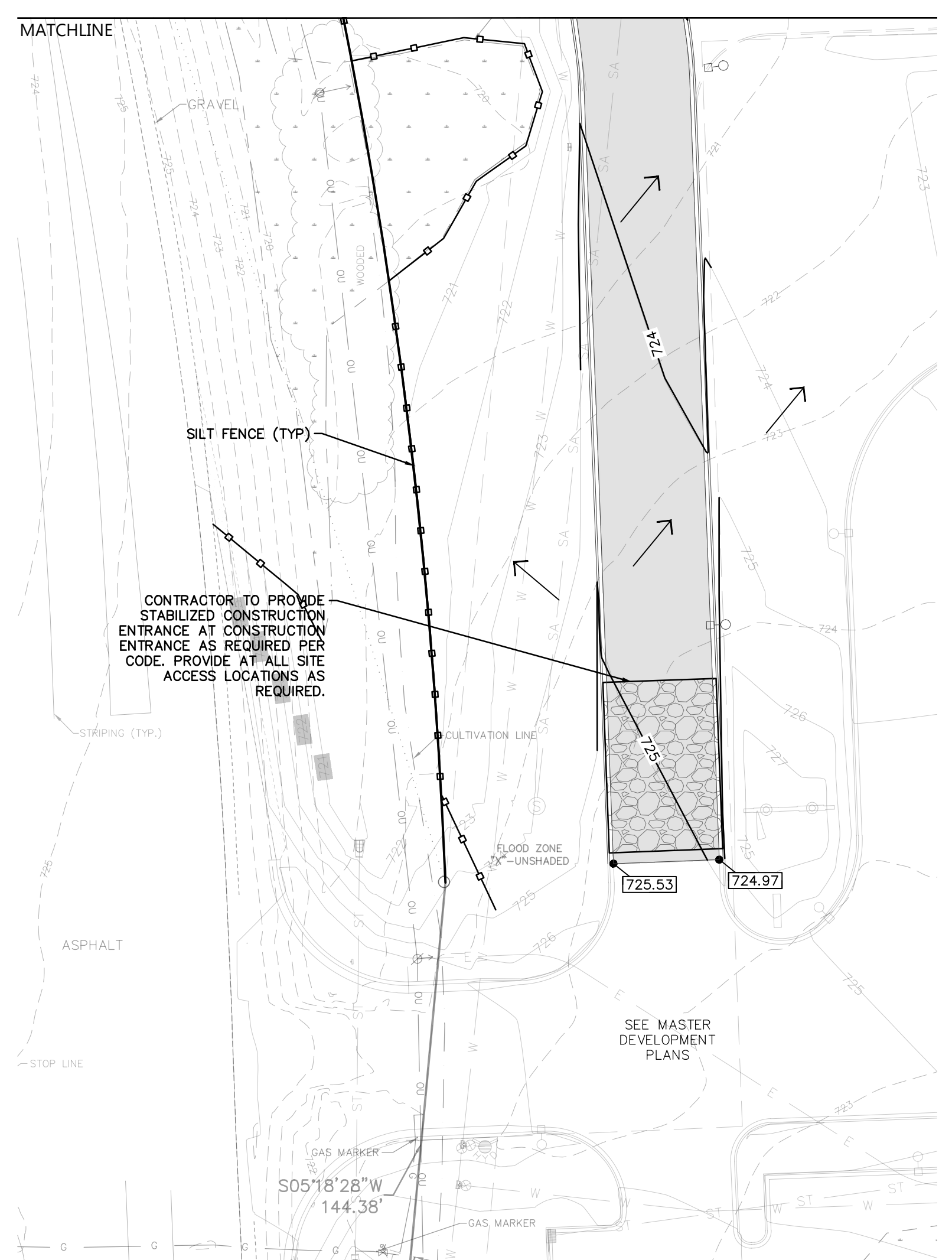
STABILIZED CONSTRUCTION ENTRANCE NOTE:
 CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
 CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

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 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
SOMERS HOTEL
 SOMERS • WI, 53171



PROFESSIONAL SEAL

SHEET DATES
 SHEET ISSUE NOV. 11, 2024

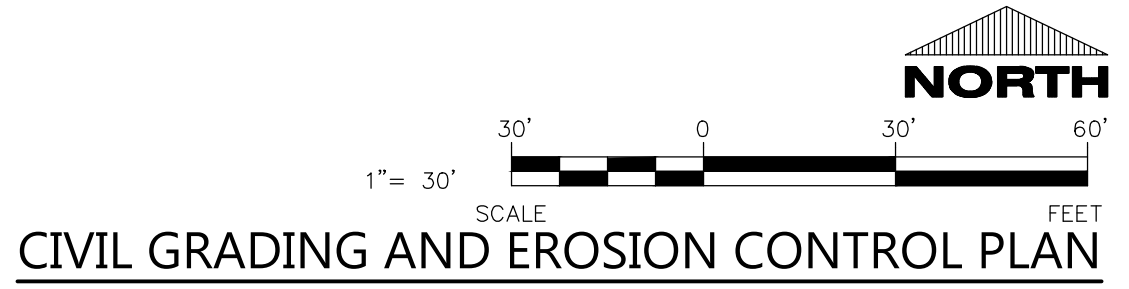
REVISIONS

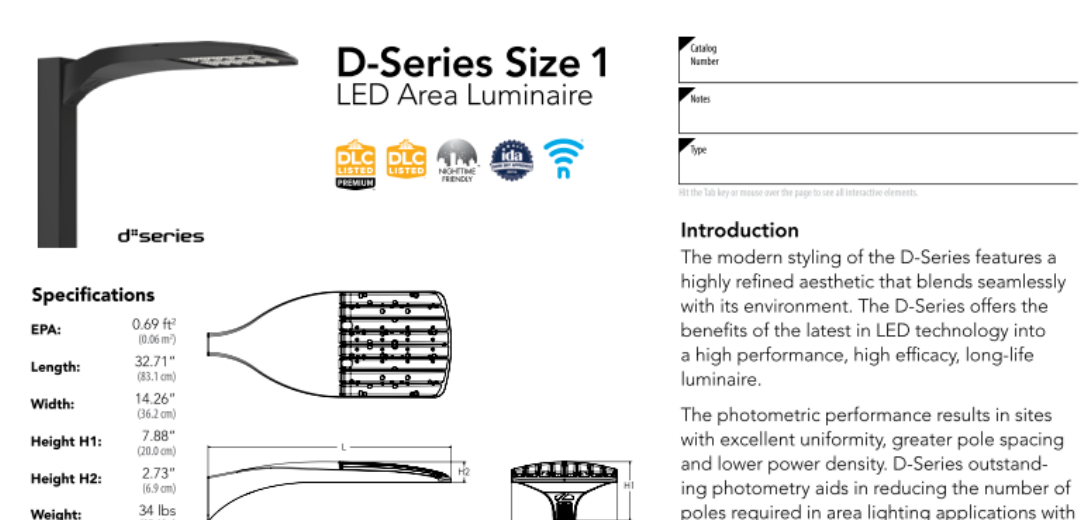
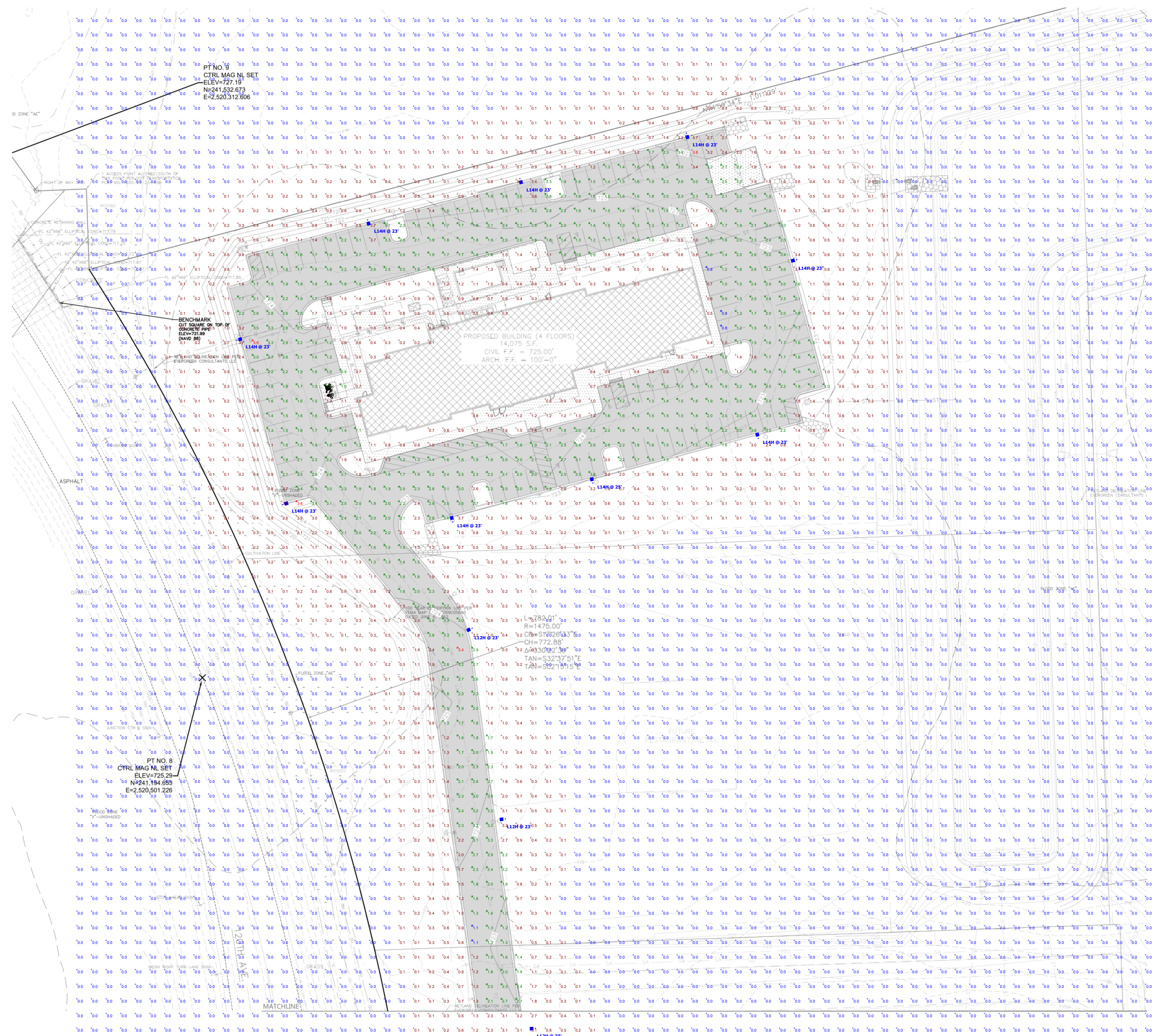
NO.	DESCRIPTION

JOB NUMBER
 230477100

SHEET NUMBER

C1.2





Specifications

Length: 12.00" (305 mm)
 Width: 12.00" (305 mm)
 Height: 2.25" (57 mm)
 Weight: 1.10 lbs (0.50 kg)

Ordering Information

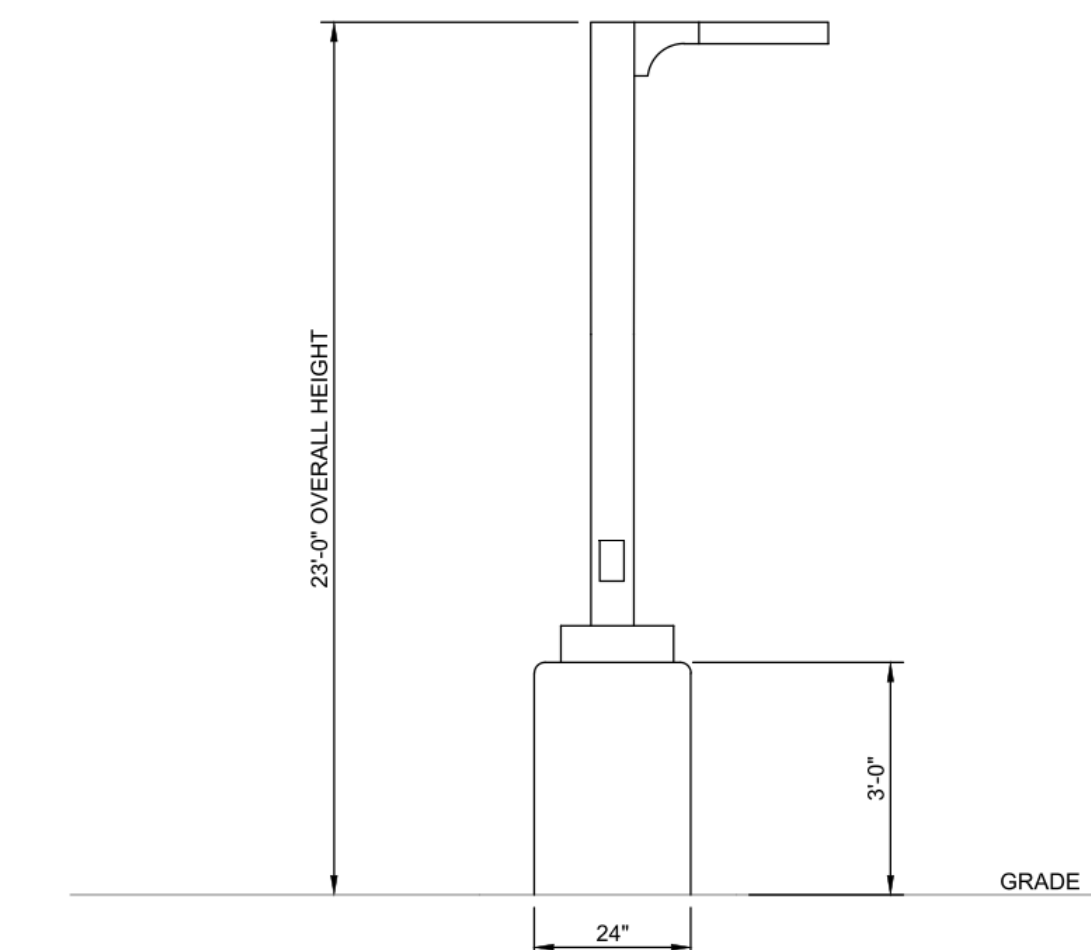
EXAMPLE: DSX1 LED P7 40K 700R 12M MVOLT SPA INWARD PIRN DIBXD

Code	Label	Color Temperature	Beam Spread	Mounting	Finish	Rating
DSX1	DSX1	4000K	70°	12M	SPA	Inward
LED	LED					PIRN
P7	P7					DIBXD

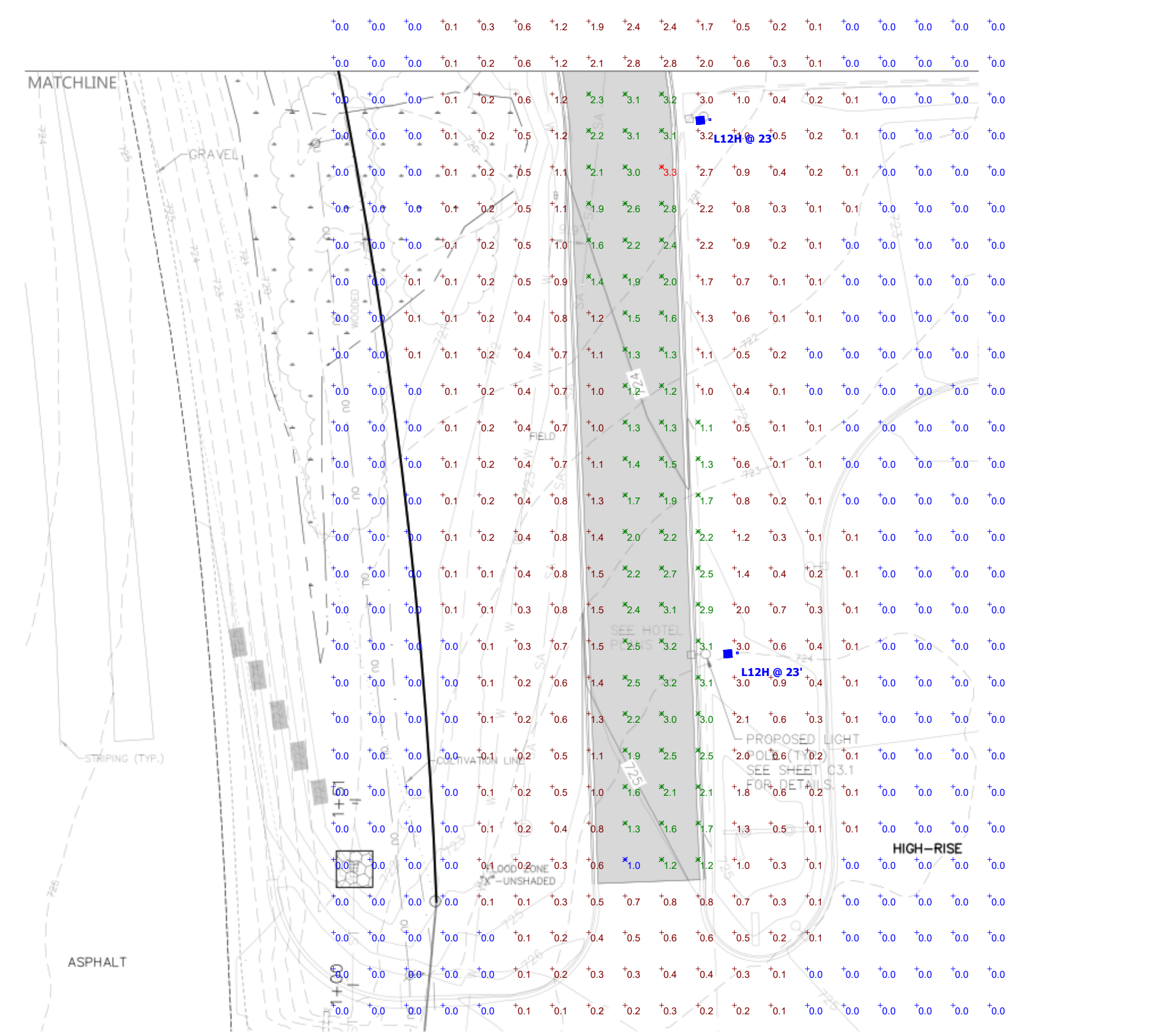
Photometric Performance

Photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outdoor lighting photography aids in reducing the number of poles required in a lighting application with typical energy savings of 65% and expected service life of over 100,000 hours.

LITHONIA LIGHTING
 One Lithonia Way • Covington, Georgia 30033 • Phone: 404-535-5500 • Fax: 404-535-5501
 © 2017 LITHONIA LIGHTING, INC. All rights reserved.



LIGHT POLE DETAIL
 NO SCALE

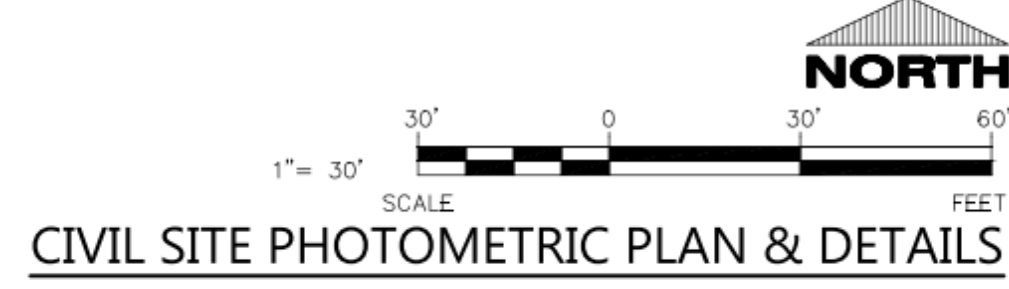


Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Wattage
□	L14H	9	Lithonia Lighting	DSX1 LED P6 40K 80CRI T4H HS	D-Series Size 1 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Type 4 Medium HouseSide Shield	1	16453	1	165,249W	
□	L12H	5	Lithonia Lighting	DSX1 LED P6 40K 80CRI T2M HS	D-Series Size 1 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Type 2 Medium HouseSide Shield	1	16164	1	165,249W	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.5 FC	3.3 FC	0.0 FC	N/A	N/A
DRIVE	+	2.2 FC	3.4 FC	1.1 FC	3.1:1	2.0:1
DRIVE CONT.	+	2.1 FC	3.3 FC	1.0 FC	3.3:1	2.1:1
PARKING LOT	+	2.0 FC	3.8 FC	0.8 FC	4.8:1	2.5:1
Calc Zone #1	+	0.4 FC	3.8 FC	0.0 FC	N/A	N/A



CIVIL SITE PHOTOMETRIC PLAN & DETAILS

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PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
SOMERS HOTEL
 SOMERS • WI, 53171

PROFESSIONAL SEAL

SHEET DATES
 SHEET ISSUE: NOV. 11, 2024

REVISIONS

NO.	DATE	DESCRIPTION

JOB NUMBER
 230477100

SHEET NUMBER
C3.1

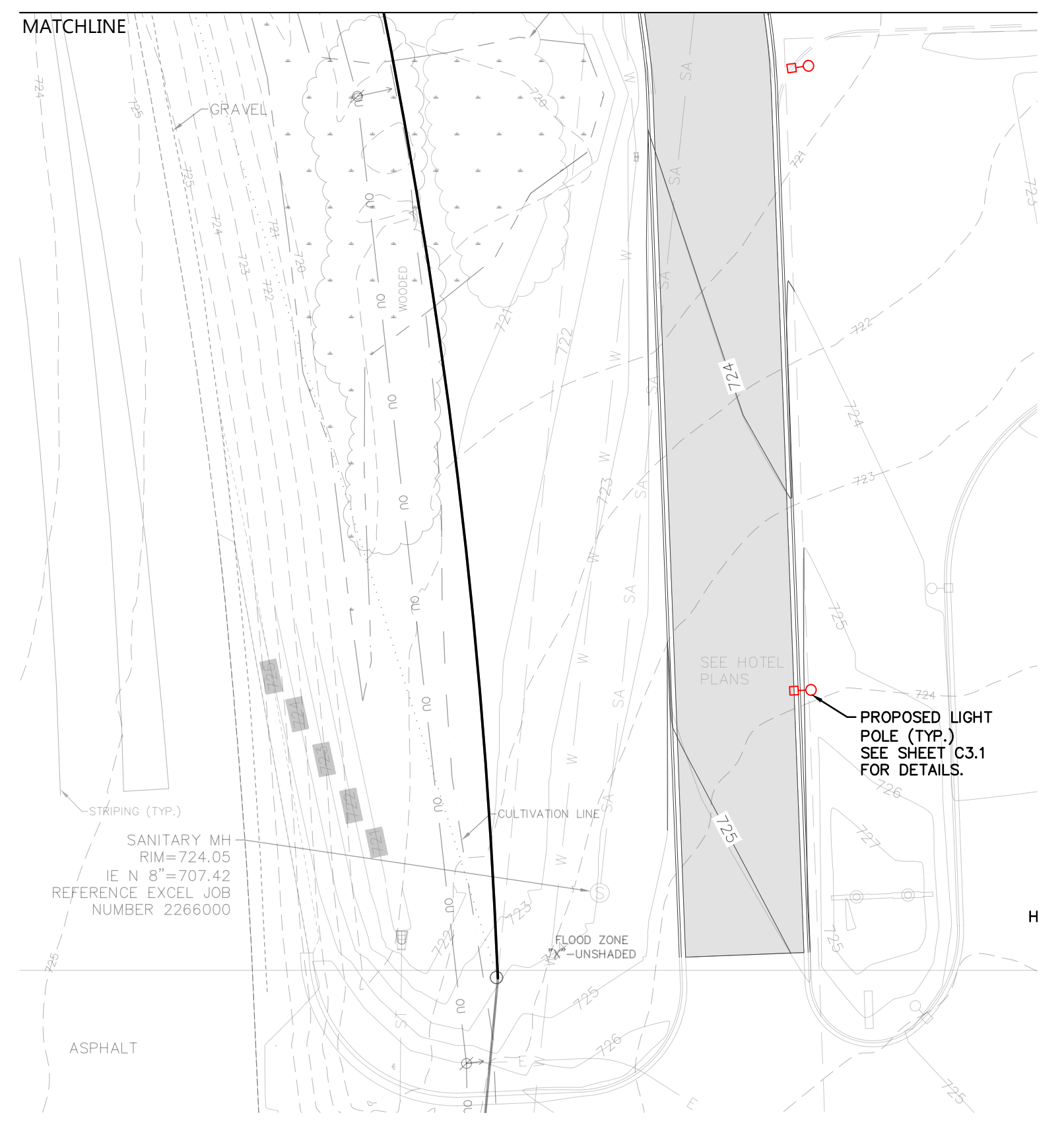


VERTICAL DATUM CONVERSION
1. SURVEY OF THE PROPOSED PROJECT WAS COMPLETED ON NAVD88
2. NGVD29 = NAVD88 + 0.17 FT

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:
[DS] = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:
[CO] = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS. SEE C0.1 FOR SPECIFICATION.



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PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
SOMERS HOTEL
SOMERS • WI, 53171

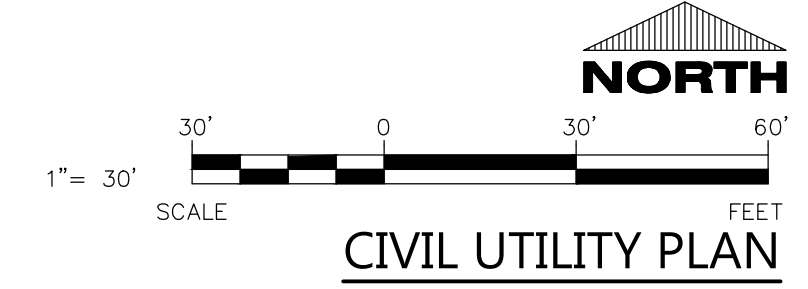
PROFESSIONAL SEAL

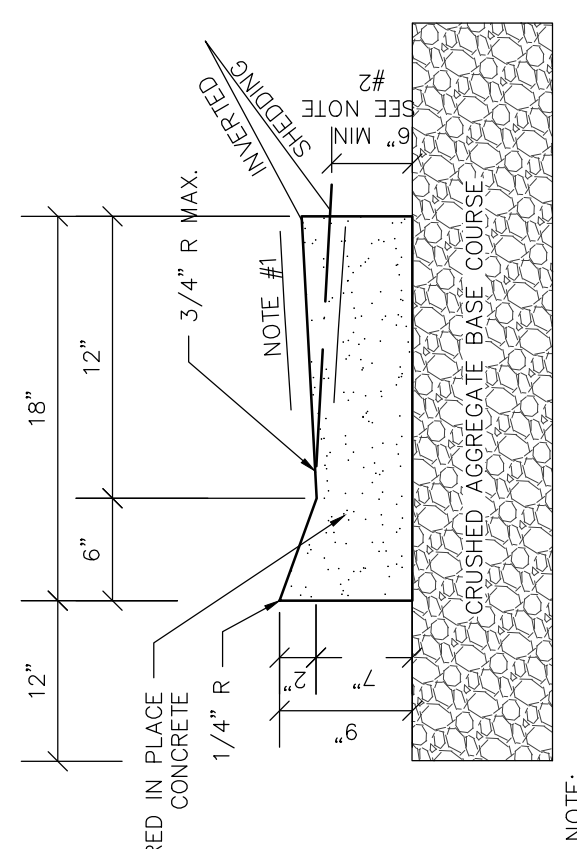
SHEET DATES

SHEET ISSUE	NOV. 11, 2024
REVISIONS	
AD1	APR. 9, 2025

JOB NUMBER
230477100

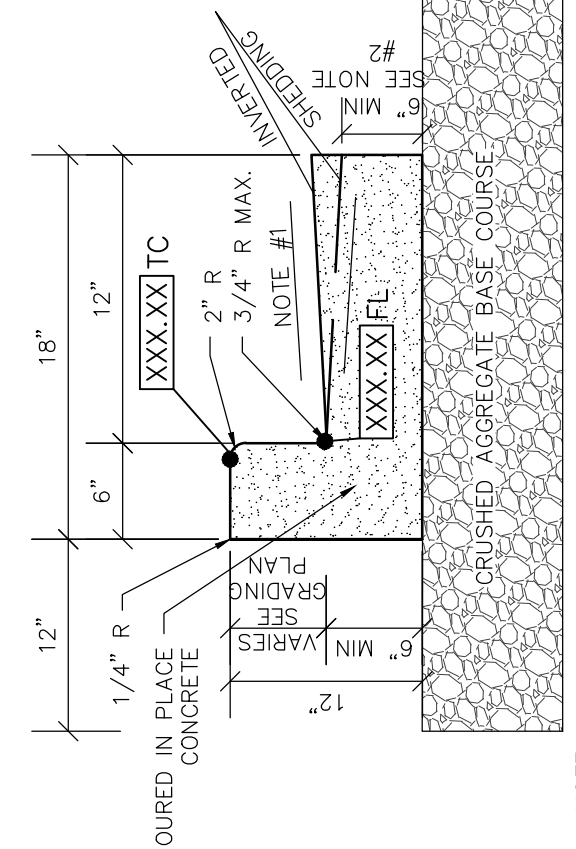
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C1.3





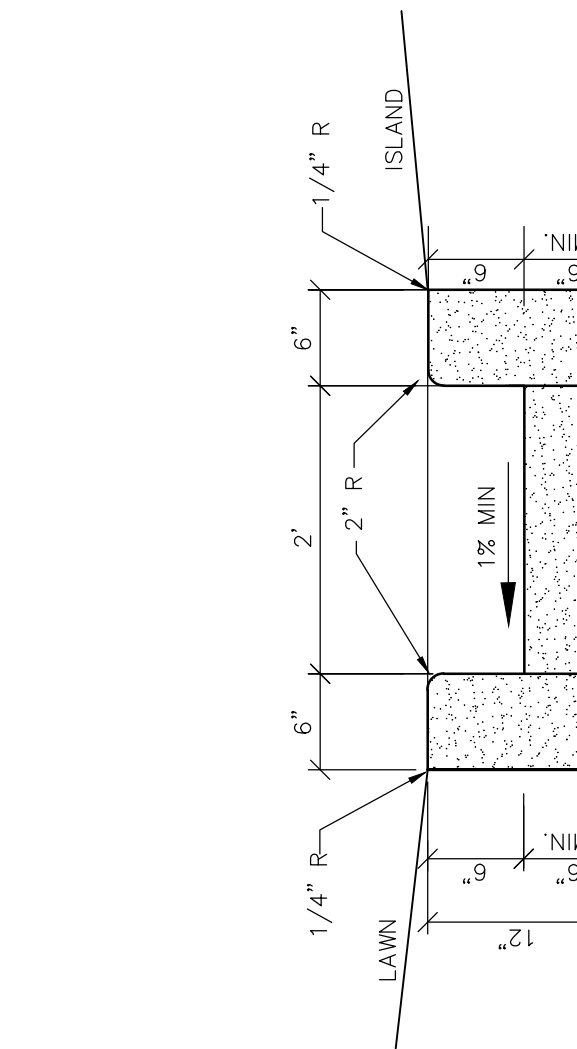
- NOTE:
- USE 4% GUTTER SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 - PAVEMENT TO THE CURB AND TO THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 - SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

18" MOUNTABLE CURB & GUTTER DETAIL
NO SCALE

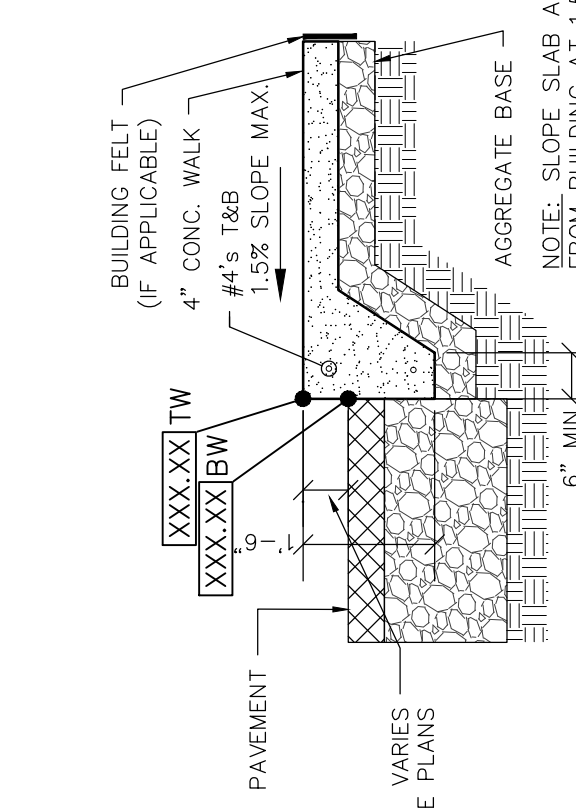


- NOTE:
- USE 4% GUTTER SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 - SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

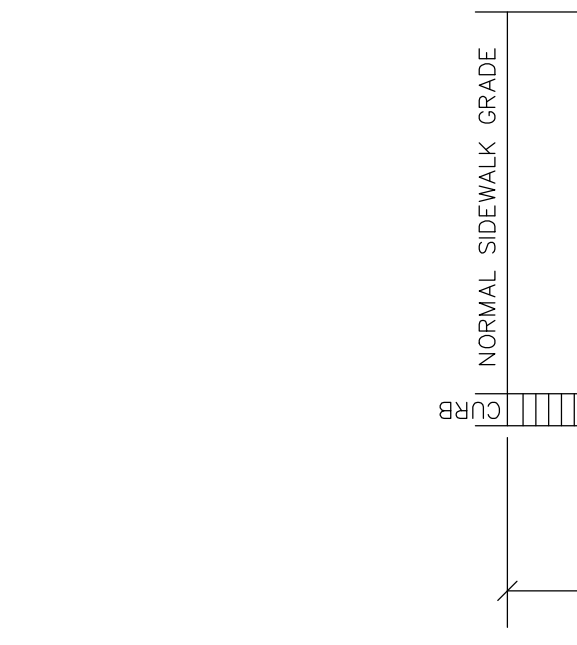
18" CONCRETE CURB & GUTTER DETAIL
NO SCALE



FLOW THROUGH CURB DETAIL
NO SCALE



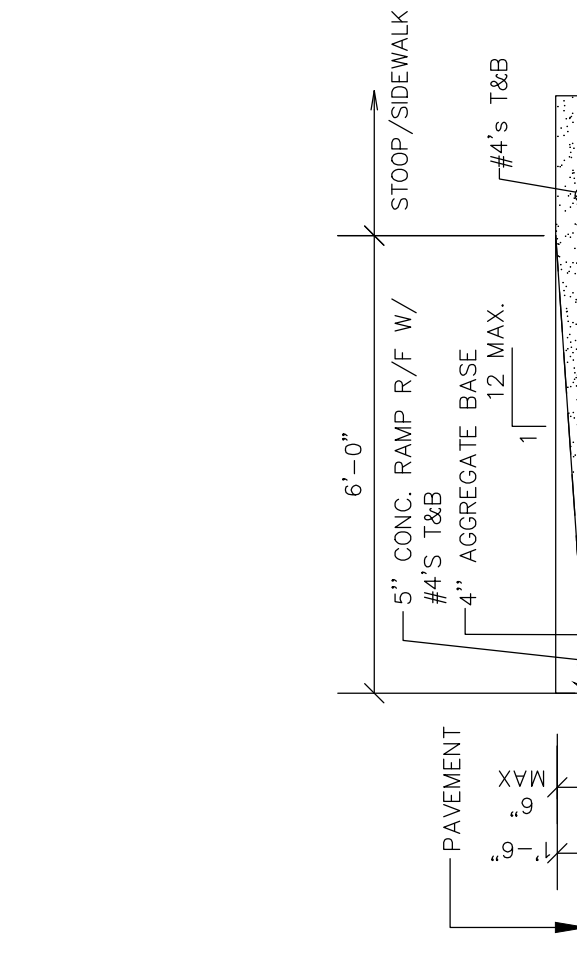
RAISED WALK DETAIL
NO SCALE



CURB RAMP 2 DETAIL
NO SCALE

NOTE: ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

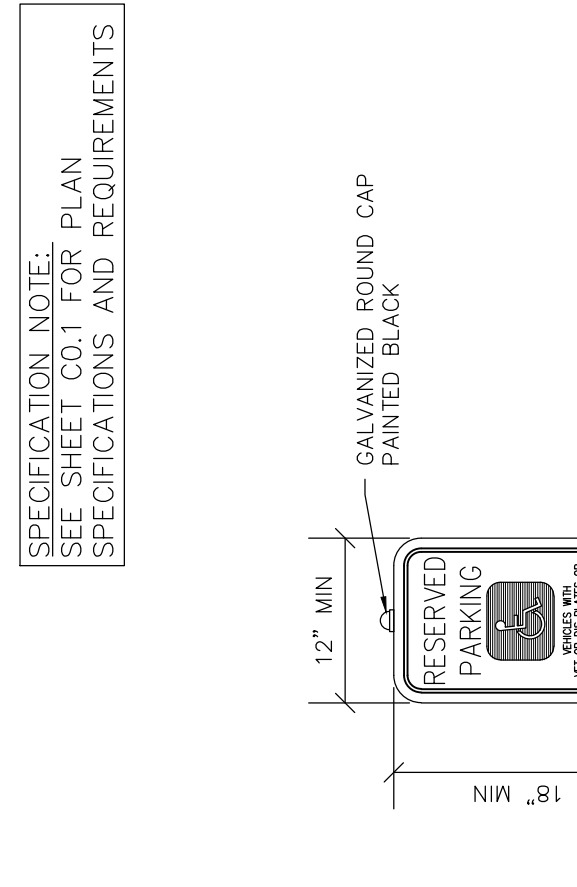
DETECTABLE WARNING SURFACE SHALL HAVE A MAX. DIAMETER OF 0.3" MIN. TO 1.4" MAX. AND A TOP DIAMETER OF 0.5" MIN. TO 1.4" MAX. TRUNCATED DOMES SHALL HAVE A DIAMETER HEIGHT OF 0.2" MIN. TO 0.3" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. TO 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST EXTREMES SHALL BE ALLOWED IN A SQUARE GRID PATTERN.



CURB RAMP 1 DETAIL
NO SCALE

NOTE: ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

DETECTABLE WARNING SURFACE SHALL HAVE A MAX. DIAMETER OF 0.3" MIN. TO 1.4" MAX. AND A TOP DIAMETER OF 0.5" MIN. TO 1.4" MAX. TRUNCATED DOMES SHALL HAVE A DIAMETER HEIGHT OF 0.2" MIN. TO 0.3" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. TO 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST EXTREMES SHALL BE ALLOWED IN A SQUARE GRID PATTERN.



HANDICAP SIGNAGE WITH CONCRETE BASE DETAIL
NO SCALE

SEE GENERAL NOTE, SHEET C2.0 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

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excel@engineer.com

PROJECT INFORMATION

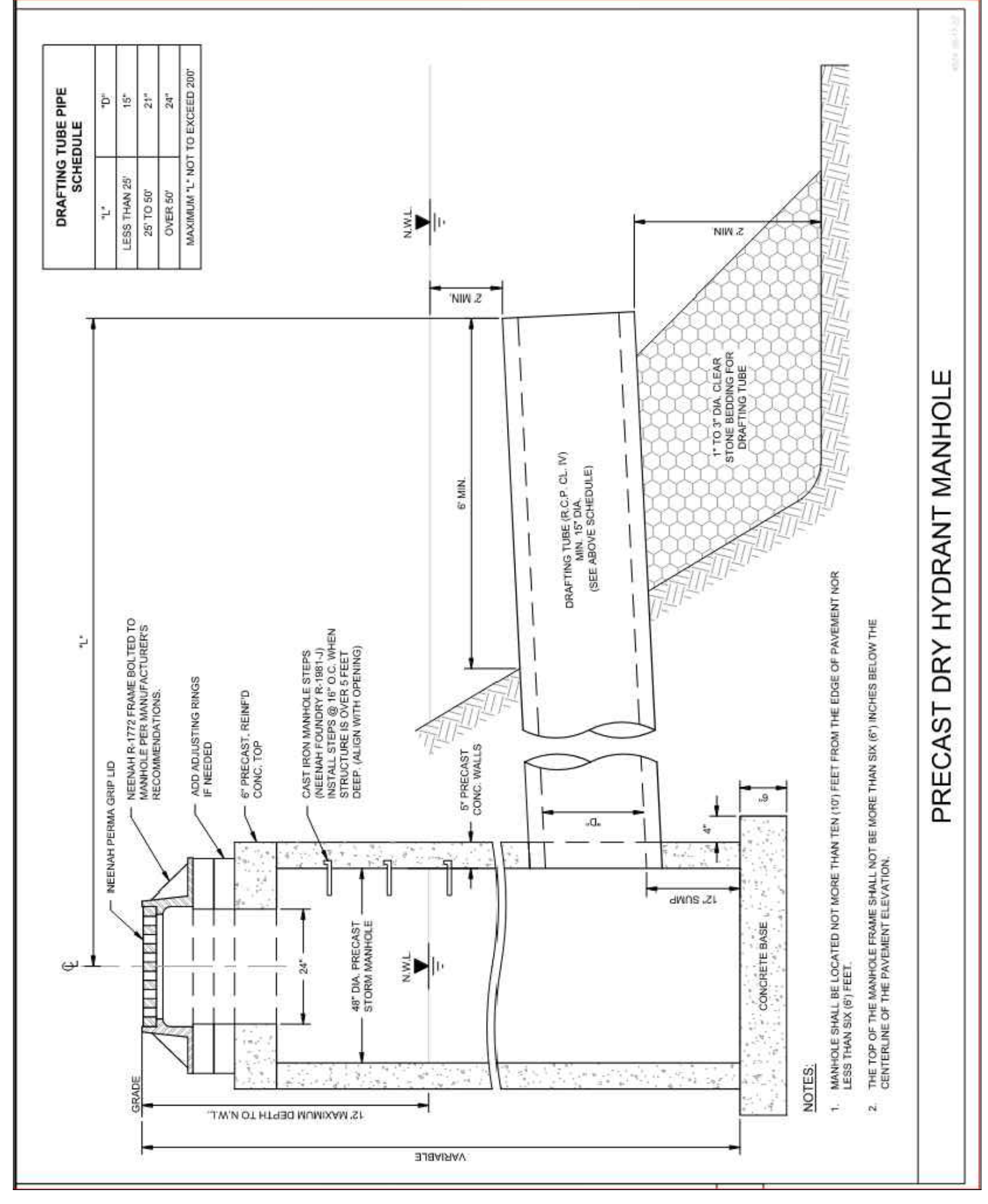
PROPOSED DEVELOPMENT FOR:
SOMERS HOTEL
SOMERS • WI, 53171

STANDARD 4"-8" LATERAL METERSAMPLING MANHOLE WITH PALMER-BOWLUS FLUME

SECTION A-A
SECTION B-B

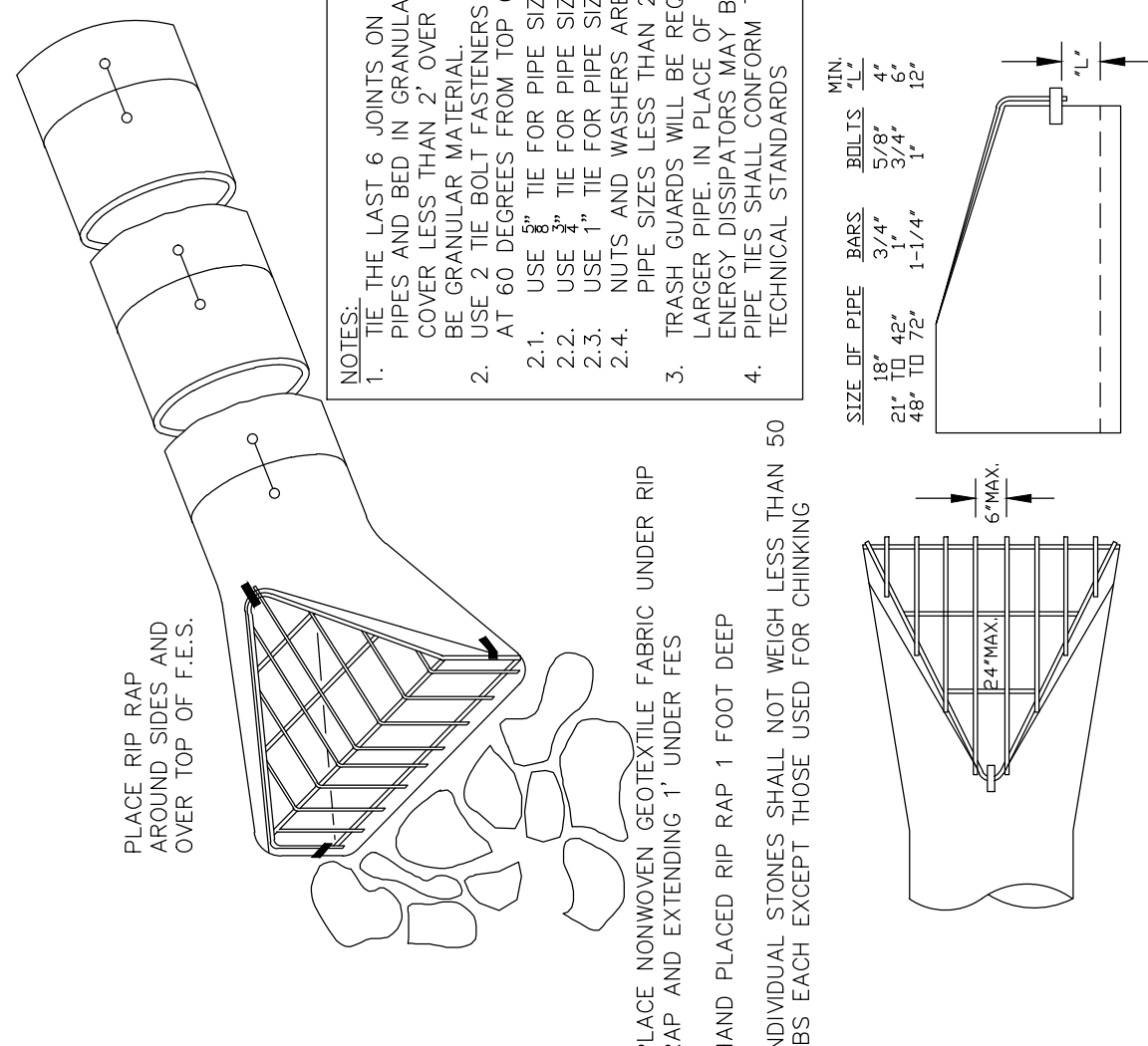
PROJECT NO: PROJECT NAME: PROJECT NO
LOCATION: TOWN OF SOMERS, KENOSHA COUNTY, WISCONSIN
SCALE: NO SCALE DATE: MARCH 2009
DRAWN BY: B. FOLLENBEE

CRISPPELL-SNYDER, INC.
PROFESSIONAL CONSULTANTS
KENOSHA, WISCONSIN



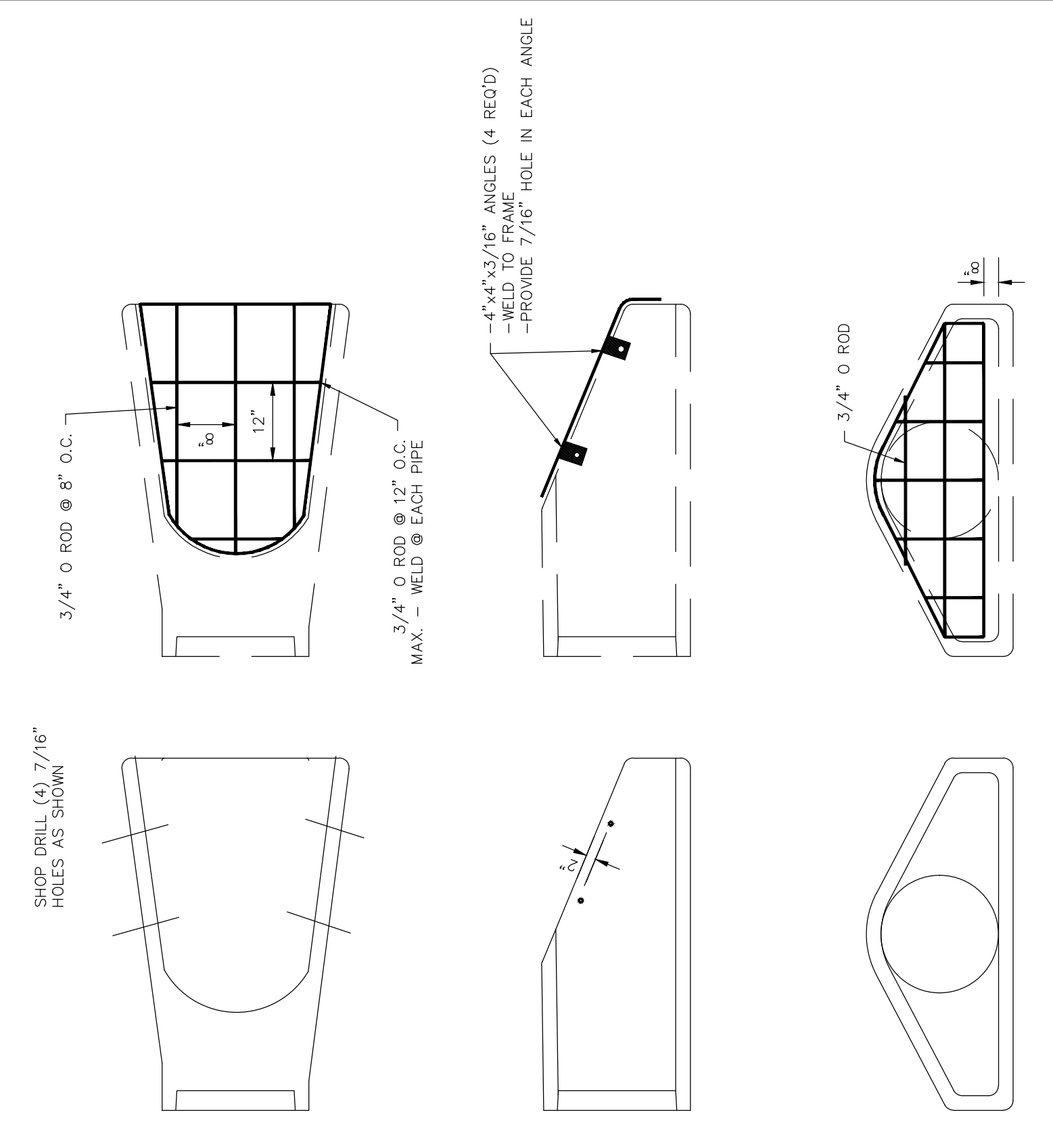
PRECAST DRY HYDRANT MANHOLE

- NOTE:
- THE TOP OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 10" FEET FROM THE EDGE OF PAVEMENT FOR 1" MIN. THICKNESS OF CURB.
 - THE TOP OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 8" (8") INCHES BELOW THE CENTERLINE OF THE PRESENT ELEVATION.



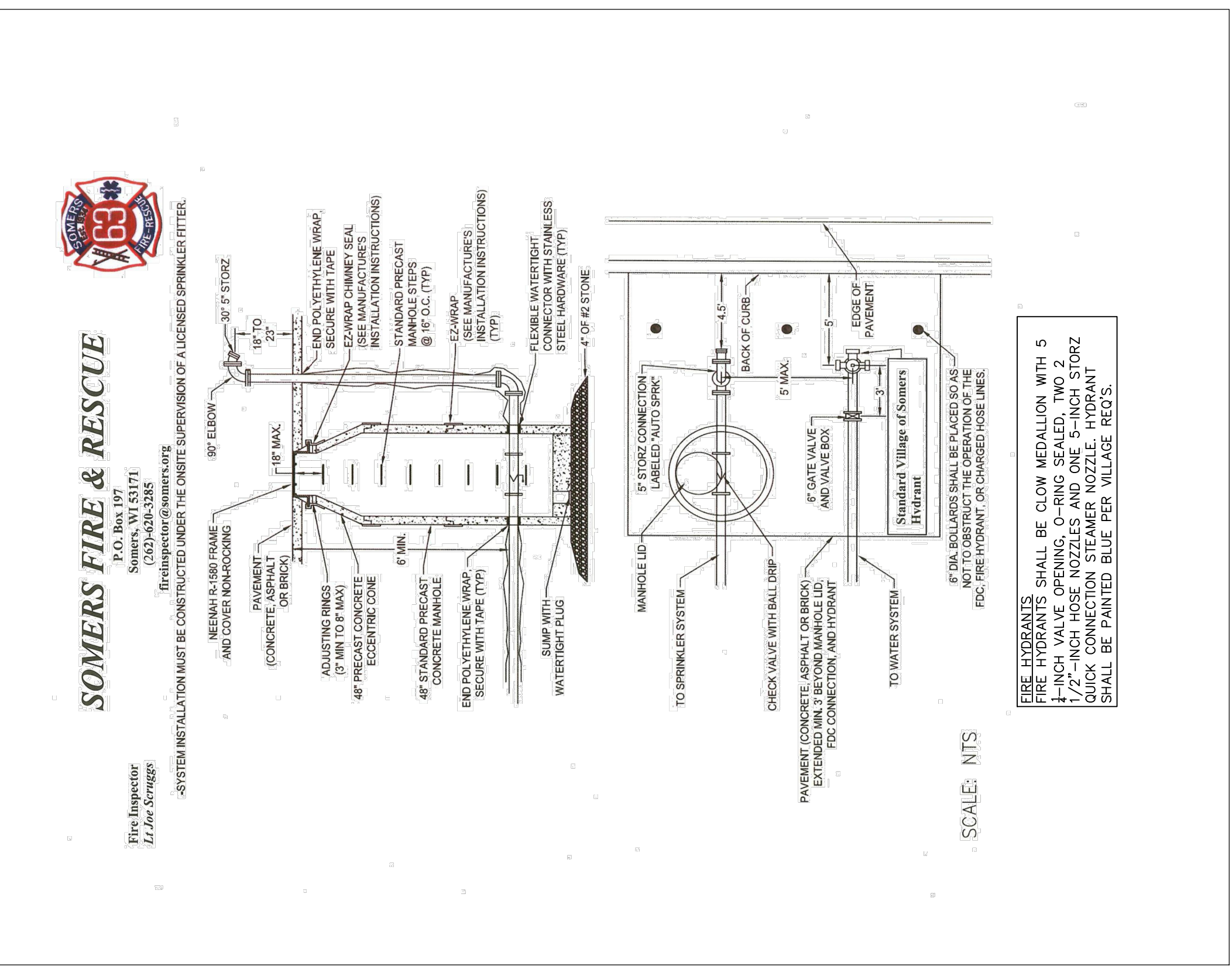
- NOTE:
- USE 3 CLIPS TO FASTEN TRASH GUARD TO F.E.S.
 - HOT DIP GALVANIZE AFTER FABRICATION PER ASTM A 153

CONCRETE END SECTION DETAIL
NO SCALE



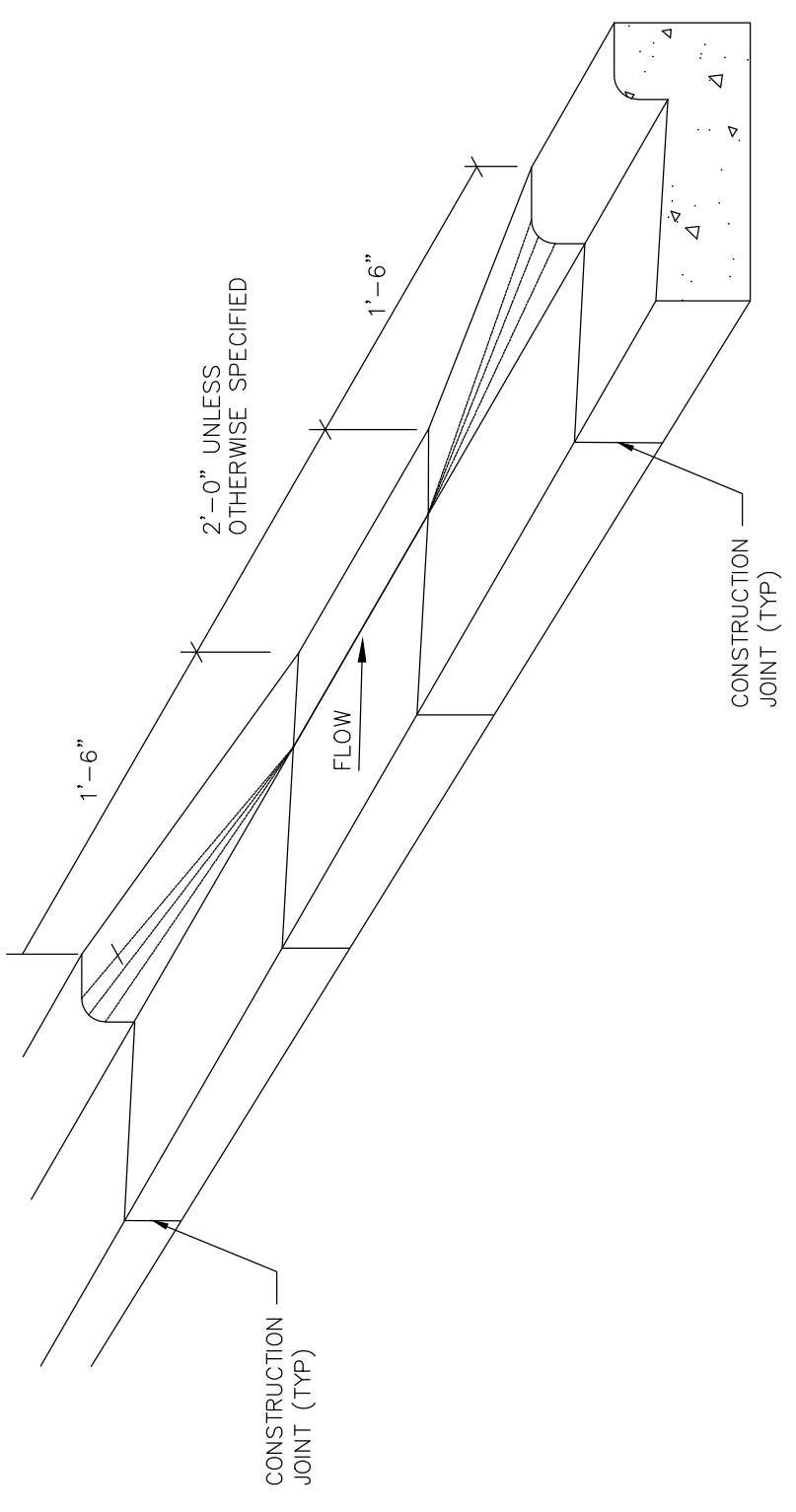
GRATE INSTALLATION DETAIL
NO SCALE

- THE CONTRACTOR SHALL BOLT THE GRATE TO THE CONCRETE ON INSIDE WALL WITH NUTS APPLICABLE FOR PIPE SIZES 18" AND GREATER.
- PAINTING SPECIFICATIONS & PAINTING, SEE NOTES:
FIRST COAT - RUST-CHEM 980 ZINC CHEMATE PRIMER OF EQUAL OR EQUAL
SECOND COAT - RUST-CHEM 1382 HIGH GLOSS & METALLIC FINISH OF EQUAL
THIRD COAT - RUST-CHEM 1382 HIGH GLOSS & METALLIC FINISH OF EQUAL
- NOTE: SURFACES - AFTER THROUGH SCRAPING, WIRE BRUSHING & CLEANING, APPLY THE FOLLOWING:
- THREE COAT SYSTEM LISTED.
 - ALLOW 24-48 HOURS DRYING TIME BETWEEN COATS.

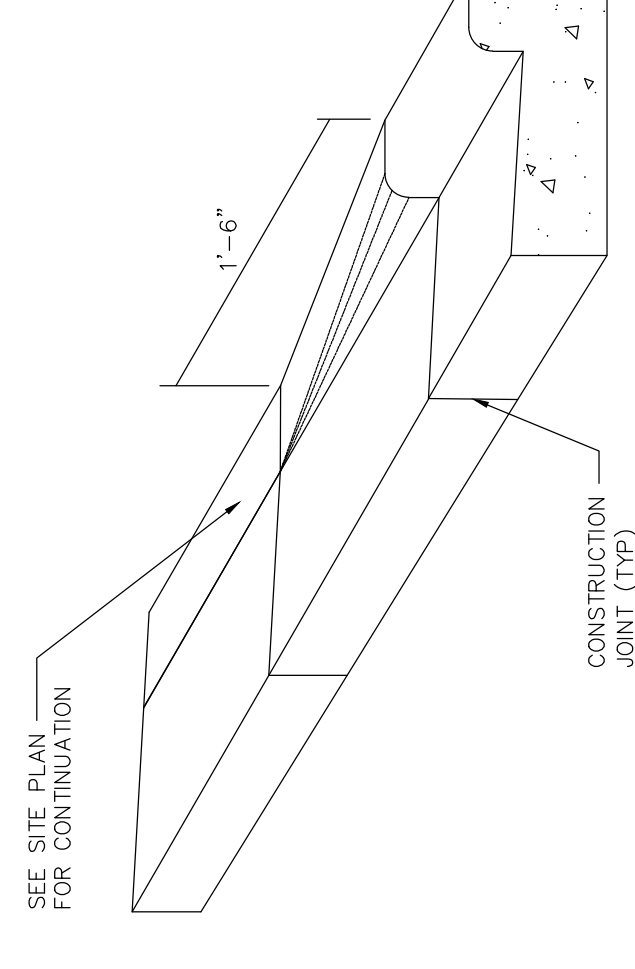


- NOTE: FIRE HYDRANTS SHALL BE GLOW METALLIC WITH 5" FINCH VALVE OPENING, O-RING SEALED, TWO 2" O.D. BLACK CONNECTION STEAMER NOZZLE. HYDRANT SHALL BE PAINTED BLUE PER MILWAUKEE REGS.

SOMERS FIRE & RESCUE



CURB CUT DETAIL
NO SCALE



CURB TAPER DETAIL
NO SCALE

CIVIL DETAILS

SHEET DATES
SHEET NO: NOV. 11, 2024
REVISIONS: AD1 APRIL 9, 2025

JOB NUMBER
230477100

SHEET NUMBER
C2.0

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
SOMERS HOTEL
SOMERS • WI, 53171

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 11, 2024

REVISIONS

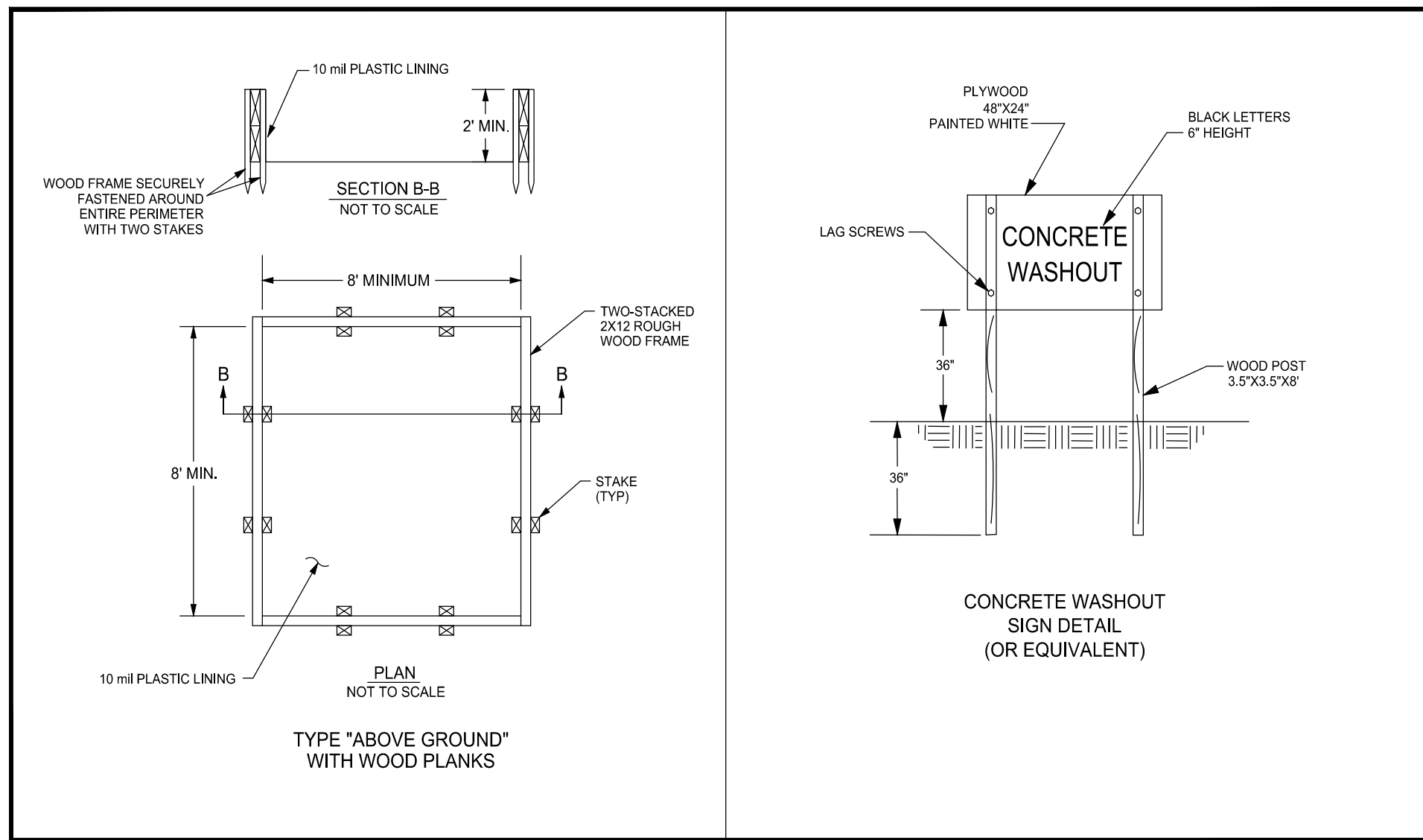
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JOB NUMBER

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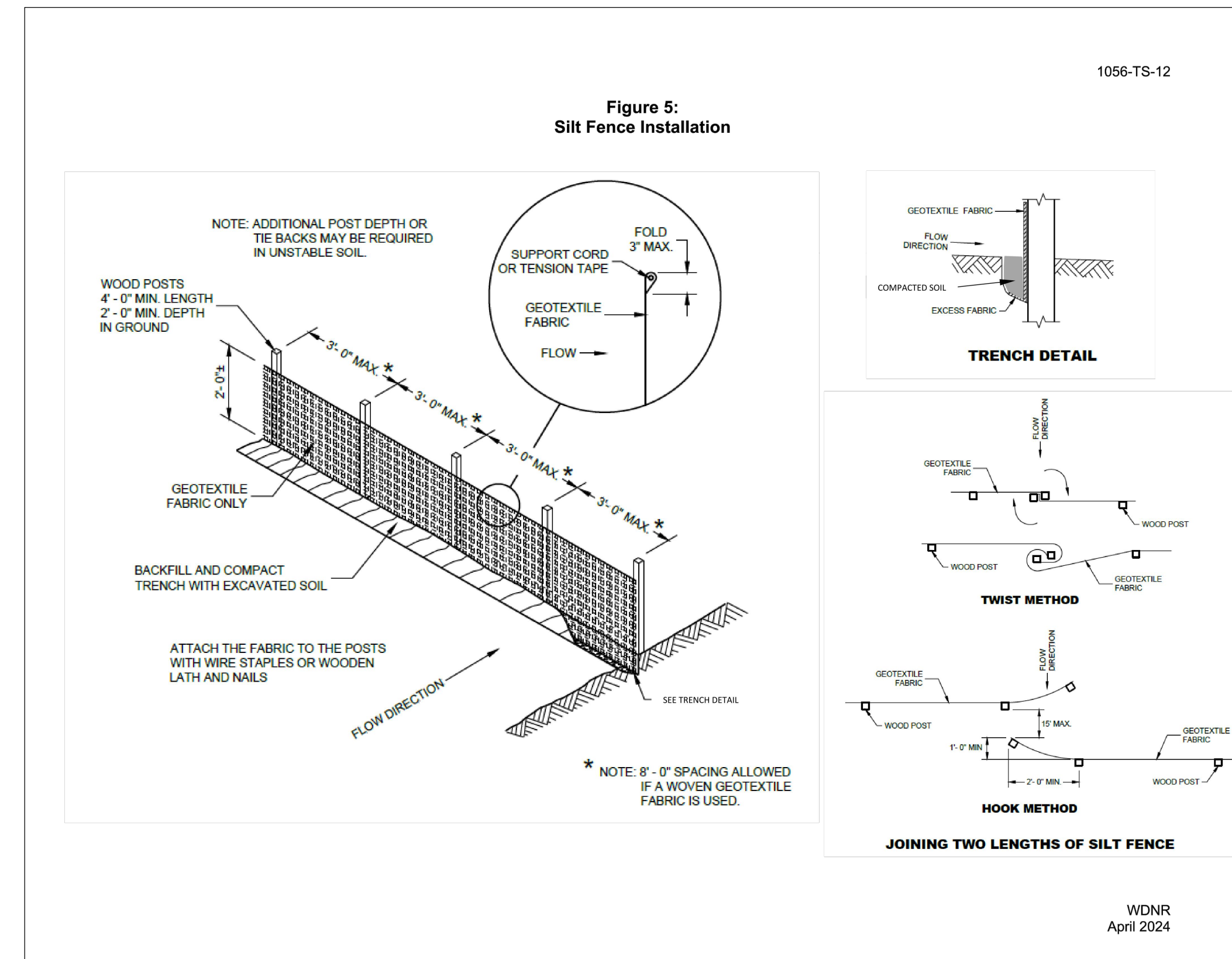
SHEET NUMBER

C2.1

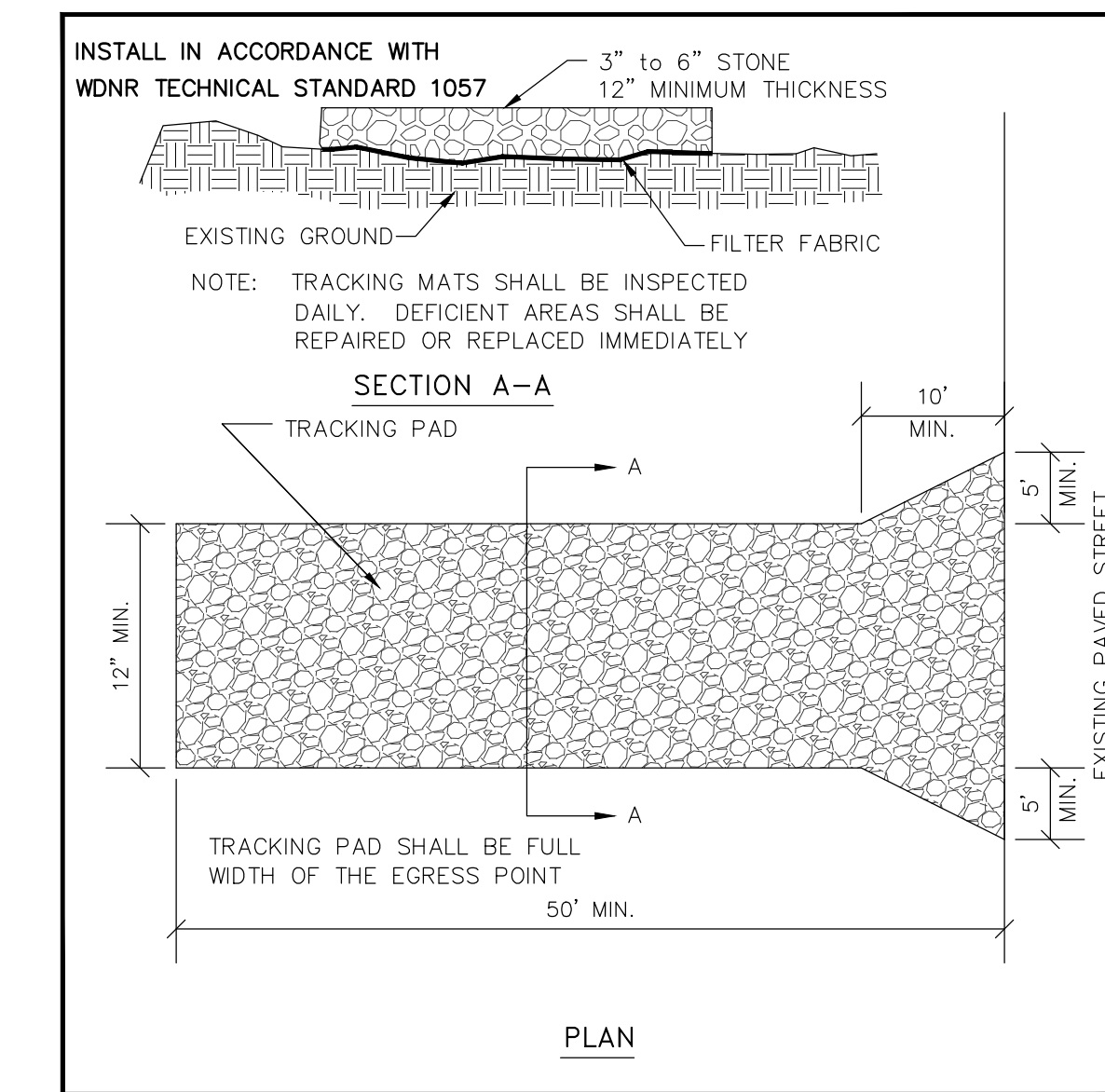


CONTRACTOR TO ADHERE TO WI DNR STANDARDS

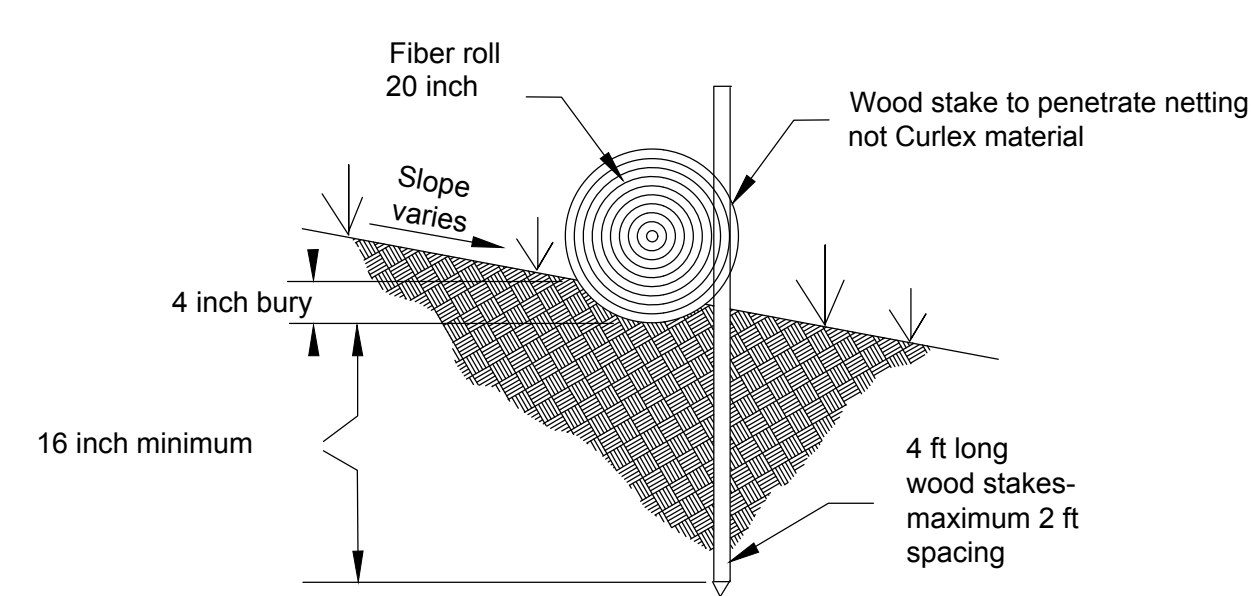
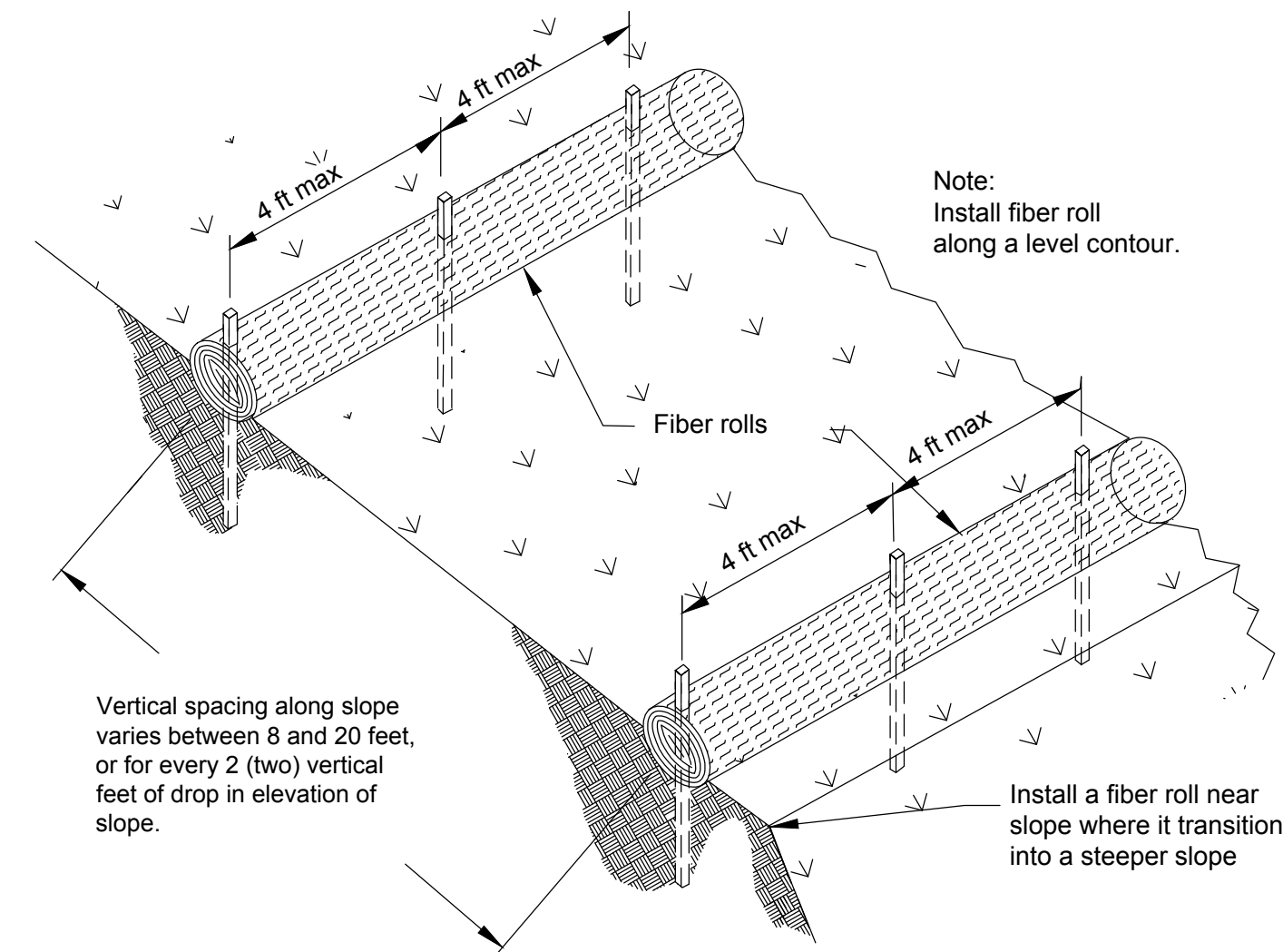
CONCRETE WASHOUT DETAIL
NO SCALE



SILT FENCE - INSTALLATION DETAIL
NO SCALE



TRACKPAD DETAILS
NO SCALE



SEDIMENT LOG INSTALLATION
NOT TO SCALE

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.
EROSION MAT SHALL PAID BY THE SQUARE YARD INSTALLED.

EROSION MAT OVER SEEDING

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3%, AND 50 FEET ON GRADES EXCEEDING 3%.

NOTE:
SEE SPECIFICATIONS FOR MATTING TYPE

CHANNEL EROSION MAT DETAIL

NOT TO SCALE

