

**Village of Somers
7511 12th Street
Somers, WI 53171**

**Village Work Session Meeting
Agenda
Tuesday, February 4, 2025
5:30 p.m.**

Village Board Work Session Meeting:	
Item #	
1	Call to Order
2	Administrator's Report
3	Engineer's Report
4	President & Trustee Reports
5	Discuss and review Shoreland Lutheran High School Federation, Inc., 9026 12th St., Kenosha, WI 53144, (Owner), request to change material for their proposed project on Parcel # 82-4-222-084-0272 and further discussion regarding possible water main extension for the project
6	Update on Somers Gateway project (Hotel and Travel Center) and discussion on development agreement and permitting
7	Discuss website features that would allow direct notifications of residents.
8	Discuss the Village of Somers Snow and Ice Removal Policy
9	Discuss decorum and procedure for Citizen Comment period of Board Meetings
10	Review tentative agenda for Village Board meeting on February 11, 2025
11	Adjourn

I hereby certify that as the designee of the chief elected official of the Village of Somers, I posted this notice of the February 4th, 2025 Village Work Session & Agenda in 1 public place & on the Village website.

Dated this 31st day of January 2025.

Wendy Burnette, Clerk-Treasurer

Requests from person with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at 262-859-2822 with as much notice as possible. **Notice is hereby given that members of the Village Board may participate telephonically. Notice is hereby given that members of the Town Board may be in attendance for the sole purpose of gathering information. A quorum may be present. However, no Board action will be taken.**

**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: February 4th, 2025

TO: Village President Stoner and Village Trustees

FROM: Jason J. Peters, Administrator
Kevin Poirier, Assistant Administrator

AGENDA ITEM: #2 Administrator's Report

Below please find a bulleted summary of major issues that Administration has worked since our January 7th Work Session:

Development

- There was no Planning Commission meeting in January.
- As of the date of this memo, there are no matters to be heard for the February Plan Commission.
- On January 14th, President Stoner and Administration met with representatives from Bear Realty regarding their upcoming submission for their Willow Creek Subdivision. We discussed the road configuration, possible vacation of a right of way, and submission of their plat.



- On January 21st, President Stoner, Trustee Nelson and Administration met with the owner of Maple Crest Country Club and a party that is interested in developing the property. The developer is a single-family home builder. The layout would be similar to past submissions, but the multi-family portion could be scaled back.
- On January 22nd, President Stoner, Trustee Nelson and Administration met with the developer for the Avid/Candlewood Suites Hotel for the Somers Gateway project (Golden Oil). We discussed what items we would need to see from him to get the developer's agreement process started.
- On January 22nd, Administrator Peters met with Nicole Ryf the Executive Director for KABA. This meeting was an opportunity for us to update each other on upcoming developments in the Village and the County.
- On January 23rd, President Stoner and Administration met with Tom Boyle. Tom Boyle is the broker for a large area of land along CTH S. We discussed different ways this property could be marketed and what utilities are available.
- On January 23rd, Administration and Planning met to discuss the Tropical Smoothie project. Their plans are completed and we in the process of the finalizing the Development Agreement. As you may recall, their project was granted a CUP for outdoor seating. They will no longer need the CUP as the outdoor seating has been eliminated from the project.
- On January 24th, President Stoner, Administration and Ehlers met with Golden Oil to discuss their upcoming Development Agreement. The main topic of focus was TID assistance. In particular, what the Developer is actually asking from TID #8 and what TID #8 can actually handle.
- On January 28th, President Stoner, Trustee Nelson, Building Inspector Seymour and Administration met with representatives from the Savannah at Pike Creek project. We discussed their upcoming Phase II. The Village requested that landscaping be addressed, and the size of the driveway approaches be adjusted. They were very receptive. The Village was told they expect their occupancy rate to be over 90% when fully built out.



Administration

- Administration, the Clerk and Public Works held interviews during the week of January 6th. Our new Utility Manager, Joshua Fugate came on board on January 22nd. Our Public Works I, Thomas Rozanas came on board on January 27th, Ben Varsey will be coming on board as Public Works I February 3rd. Our new Deputy Clerk, Eugenia Lara will start February 3rd.
- On January 9th a meeting was held with the Sheriff's Department, President Stoner, Administration, and two County Board Supervisors. We discussed traffic interdiction and the STH 32 DOT traffic study.
- On January 14th, Staff and our auditors held our 2024 Audit Kick Off meeting. We discussed timelines and our desire to have the audit completed and presented to the Board by August of this year.
- On January 21st, Administrator Peters attended the League of Municipalities Servant Leadership Round Table.
- The latest quarterly newsletter was released. Hard copies are available in the Village/Town Hall lobby, or online at: <https://www.somers.org/newsletters/>
- President Stoner and Assistant Administrator Poirier attended KABA Infrastructure Update Luncheon presentation on Jan. 21. Representatives from the Kenosha Water Utility, We Energies, ATC, and the Kenosha County Division of Highways provided updates on their respective utilities as well as recently completed projects and future projects planned.



- On January 23rd, Administration met with Dooley & Associates to continue our discussion regarding updates to Somers.org. We looked at several different layouts and discussed tabs that should be added or removed.

- During the week of January 27th, Department heads met with Trustees Ostby and Nelson to discuss the Villages Long-Term Goals. These will be brought the Board in an upcoming Work Session.
- On January 27th, Administrator Peters met with the Kenosha Achievement Center to discuss housing options for seniors and persons with special needs.
- On January 27th, the Parade Committee met at Village Hall for our 2025 July 4th Parade.
- On January 28th, Administrator Peters met with our Village Prosecutor Tim Evans to discuss how we feel the Court is doing and if there was anything we could be doing to improve the process.
- On January 29th, Administration and President Stoner met with a representative from FirstNet. FirstNet provides emergency responders with the first nationwide, high-speed network dedicated to public safety. This service is now available to Village Administration and Public Works. We will be receiving a quote to change our Village cellphones to FirstNet. If it is comparable to our existing plan, Administration will be switching our service.
- On January 29th, Administration, President Stoner, Trustee Nelson and Accounting staff met with Ehlers to review our repayment status for the Tawani letter of credit. The full amount is due in September of 2031. This will be repaid through a combination of special assessment that were levied in 2022 and TID increment.
- On January 29th, Administration and Chief Andersen met with Connie Balding, Ms. Balding is a Workforce Innovation and Opportunity Act with Engagement Specialist| Kenosha County. We discussed ways we can help her push out information regarding help they can offer displaced workers and those that are seeking to further their educational careers. We also discussed if any of these programs could be available to Village staff for further training. <https://www.kenoshacounty.org/1945/Workforce-Innovation-and-Opportunity-Act>
- On January 29th, Administration and Trustee Harbach attended the quarterly meeting of our National ZIP Code Advocacy Coalition. Congresswoman Boebert of Colorado was in attendance and gave us an update on how our legislation would proceed through the 119th Congress. A petition is available in the lobby for residents to show their support for our effort. In the last month, we have collected over 50 signatures. The petition is also available online at: <https://www.somers.org/wp-content/uploads/2024/12/ZIP-Code-Petition-FILL.pdf>
- On January 30th, Administration, President Stoner, and Sheriffs Department held our Quarterly Meeting with Walmart. Walmart's asset project team was in attendance. This is a meeting held to check in on how enforcement is going and what things we can do to improve the process.
- Early voting for the Spring Elections starts February 4.

VILLAGE OF SOMERS
Engineer's Report
January 29, 2025

Somers Trade Center (Groh's Development) - Project No. 220818

- The developer is Stream Industrial Development Services. Pinnacle is the developer's engineer.
- A public roadway is proposed to extend along the east edge of the development. There is no public bidding planned with this development.
- We are waiting for revised plans, permits, and recorded CSM from the developer. Supposedly they have the temporary grading easements needed to position the roadway within the right-of-way shown on the proposed CSM.

Golden Oil Sanitary Sewer Connection - Project No. 212153

- The Developer is Golden Oil; the developer's design engineer is Excel Engineering. The Contractor is Globe Construction.
- The public sanitary sewer is complete and tested.
- Televising revealed a crack in the pipe. The contractor is installing a 4' spot liner to seal the crack on 1/29/25.

Golden Oil Somers Gateway Development - Project No's. 2325743 and 24000875

- The Design Engineer is Excel Engineering
- This development includes a convenience store and a Candlewood Suites Hotel.
- The contractor began site grading in November outside of floodplain and wetland areas.
- The project requires the following permits: WisDOT, WDNR Sanitary Sewer, Kenosha Highway.
- The developer requires a stormwater easement from the property to the north.
- When the grading is complete a Letter of Map Revision (LOMR) must be approved by WDNR and FEMA.
- The water main and sanitary sewer crossing CTH E will be publicly bid when the developer's agreement is completed.

Savanah at Pike Creek- Project No. 201664

- This project is an approximately 65-acre townhouse development at the northwest corner of the intersection of CTH L (18th Street) and STH 31 (Green Bay Road). It also includes two outlots for future commercial development. The development will consist of both public and private infrastructure. The developer is the Stoneleigh Company. Developer's design and construction engineer is Kimley-Horn and their contractor is Horizon/Naperville Construction.
- All public utilities have been tested.
- The developer has requested that their Phase 1 public infrastructure be accepted by the Village. We are reviewing their information prior to recommending Village acceptance.

VILLAGE OF SOMERS
Engineer's Report
January 29, 2025

Flint 94 Development— Project No. 211728

- This is the planned 3-building development west of I-94 and south of 12th St; The Developer is Flint 94 Commerce Center, LLC; their engineer is Pinnacle Engineering.
- On January 29, 2024, we issued a list of items to be completed before recommending acceptance of utilities; painting the public fire hydrants red is the remaining item.

Water Tower Authority to Construct - Project No. 161104

- We formally requested the Authority to Construct from the Public Service Commission of Wisconsin; the water tower is planned on 100th Avenue, north of 12th Street.
- The WPSC is no longer requesting a joint meeting of regulators; we will upload the responses to the WPSC request for information after deciding if the Village is considering a revised need assessment and impact fee ordinance.

2024 Roadway Improvements - Project No. 2400374

- The project includes 13th Avenue, 16th Place.
- Payne & Dolan, Inc is the contractor.
- Both roads are paved and a punch list created.
- We are working with Payne & Dolan on their pay request.

4th Street, 13th Avenue Culverts - Project No. 2326136

- This project will replace an existing culvert crossing under 4th Street at 3424 4th Street and extend the existing large dual culverts crossing under 13th Avenue to provide a flatter slope from the road shoulder.
- The WDNR permit application has been submitted for the 4th Street culvert. The 13th Avenue permit application will be submitted this month.
- We plan to bid the project in 2025 depending on WDNR permitting timing.

GIS Implementation - Project No. 2401442

- We are collecting GIS data from Kenosha County and the Village sanitary sewer card system.
- The goal is to make this data usable to the Village.
- A staff level meeting is planned for 2/4/25.

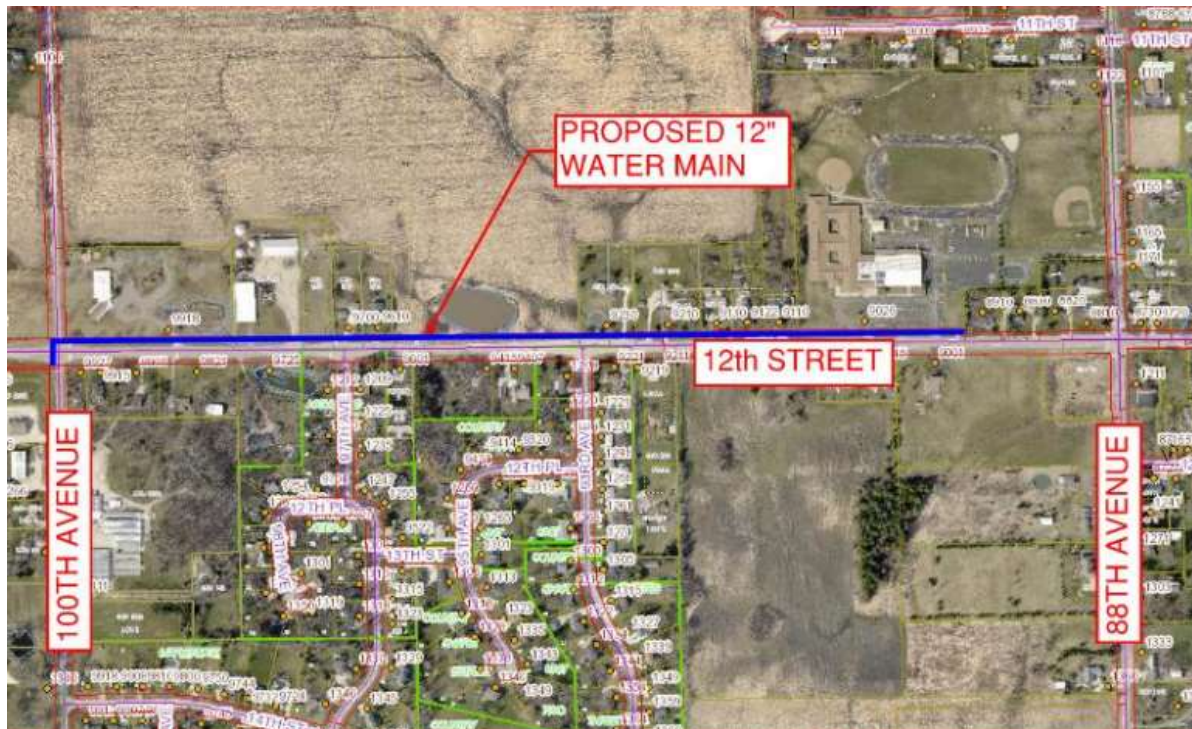
30th Avenue Sanitary Sewer - Project No. 2401761

- The Developer is the Wisconsin Apartment Investment Group, and the Engineer is Nielsen, Madsen & Barber.
- Parkside wants Orchard Court Apartments off their system.
- We provided review comments dated November 19, 2024.
- Per Nielson, Madsen & Barber, we expect revised plans the first week of February.

VILLAGE OF SOMERS
Engineer's Report
January 29, 2025

Shoreland Lutheran High School – Project No. 221315

- The design engineer is Excel Engineering.
- Our latest review was October 8, 2024; we recently received separate submittals for the school and parking lot expansion. We are waiting for a single submittal that may include intersection improvements at CTH E and H.
- There are ongoing discussions regarding a water main extension to serve the school; see the snip below for the concept; this is no longer associated with the site plan, other than the easement associated with the future installation.



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**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: February 4th, 2025

TO: Village President Stoner and Board of Trustees

PREPARED BY: Jason J. Peters, Administrator

AGENDA ITEM: #5 Discuss and review Shoreland Lutheran High School Federation, Inc., 9026 12th St., Kenosha, WI 53144, (Owner), request to change material for their proposed project on Parcel # 82-4-222-084-0272 and further discussion regarding possible water main extension for the project

BACKGROUND:

In April of 2024, the Board approved a Comp Plan Change, Rezoning and CSM so that Shoreland Lutheran High School could install a stormwater management system. The proposed system is known as a Regenerative Stormwater Conveyance. This system was in preparation for any expansions to their facilities. In August of 2024, Staff met with Shoreland Lutheran to review the proposed additions to their existing buildings. The proposed additions will include the following: an expanded music room, eight new classrooms, a new main entry/vestibule area, a new fitness center, and a new gymnasium. The existing gymnasium will also be remodeled as a part of the plan. The project requires a conditional use permit for the new gymnasium and site plan/exterior fenestration. Shoreland Lutheran submitted their applications at the end of August. The Board conditionally approve the CUP, site plan and exterior fenestration in November of 2024. This allowed Shoreland to move forward with their final plans for their project.

UPDATE:

The exterior fenestration included the façade to be wrapped in a thin set brick material that would match the existing building. Shoreland has informed Administration that “through an extensive search for thin brick that has the correct appearance” they found an option that uses imbedded precast panels that would allow them to stain the panels to the correct color scheme. This process is done by a company called. Nawkaw <https://nawkaw.com/>. The staining comes with a 25-year warrant. This would be a deviation from what was approved but would not be against any Village Ordinances. Shoreland is seeking guidance from the Board as to whether this new material would be

acceptable. Administration would suggest that, if this is acceptable, it be noted in the final development agreement when and if it comes before the Board.

COMMENTS:

The issue as to whether municipal water will be extended for this project also needs to be addressed.

The Board may recall that in 2021, Mastercraft proposed a subdivision across the street from this site. At that time the estimate for the total cost of bring water main from 100th Avenue was \$807,000. As this estimate is several years old, Engineering has provided an updated opinion of probable cost. This new cost is approximately \$1.5 million and includes running the line to the corner of CTH E and CTH H.

The Board also needs to explore how the project costs would be paid. If the Village were to bring this water main down, it would have to be through the issuance of bond. An other option would be to have the developer “upfront” the costs. Administration has also explored the option of extending a TID #6 or using the ½ mile rule for utility extensions to help pay for the project. Extending TID #6 Borders is not feasible. Administration does believe that using the ½ mile rule for utility extension is a viable option as we do not foresee enough development in TID #6 to create enough increment to pay for additional utilities.

Under any scenario an assessment would be used to repay the cost. Under the Village’s current ordinance 13.07 (E) the water main would be assessed by front footage. The section reads as follows:

“The amount assessed against any property shall be computed on a front footage basis using the total cost of the improvement including the construction cost for the size of main required to adequately serve and benefit the property as determined by the Utility, but in no case shall such main be less than eight inches in diameter nor shall such main be larger than 12 inches in diameter. The costs of engineering and legal services and any other component of direct or indirect cost which is attributed to the improvement, including the cost of that portion of the water main in intersections of streets shall be included in computing the costs of the improvement.”

Memorandums from Attorney Davison, Chief Andersen and KWU as their opinions on the requirement that municipal water be extended for this project have been included in past packages and are attached.

ATTACHMENTS:

Exterior Elevations

Examples of Proposed stamped /stained concrete

Updated Opinion of Cost

Letter from KWU

Memorandum from Chief Andersen

Memorandum from Attorney Davison

PROJECT INFORMATION

PROPOSED BUILDING ADDITION PHASE ONE FOR:
SHORELAND LUTHERAN HIGH SCHOOL
 9026 12TH STEET • KENOSHA, WI 53144

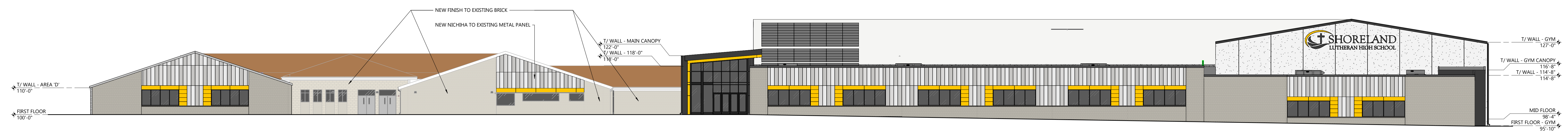
PROFESSIONAL SEAL

PRELIMINARY DATES
 AUG. 30, 2024

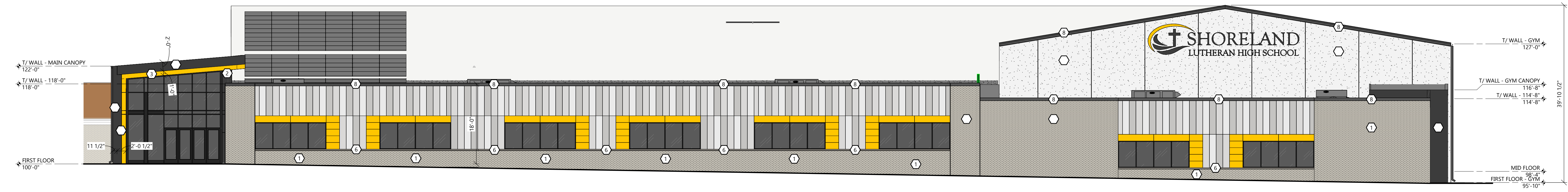
NOT FOR CONSTRUCTION

JOB NUMBER
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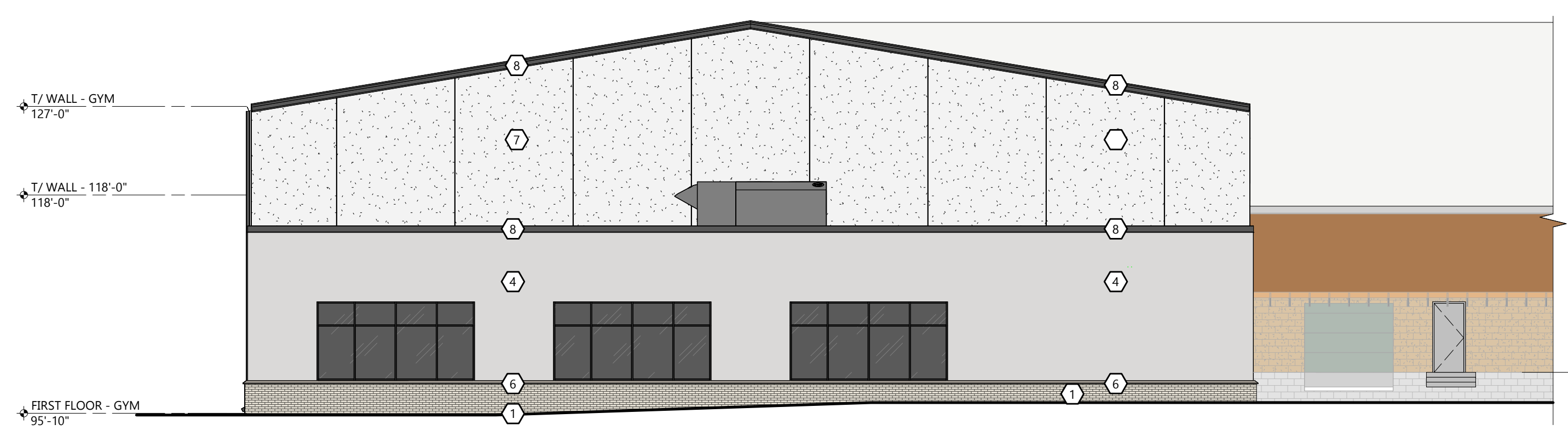
SHEET NUMBER
 A2.0



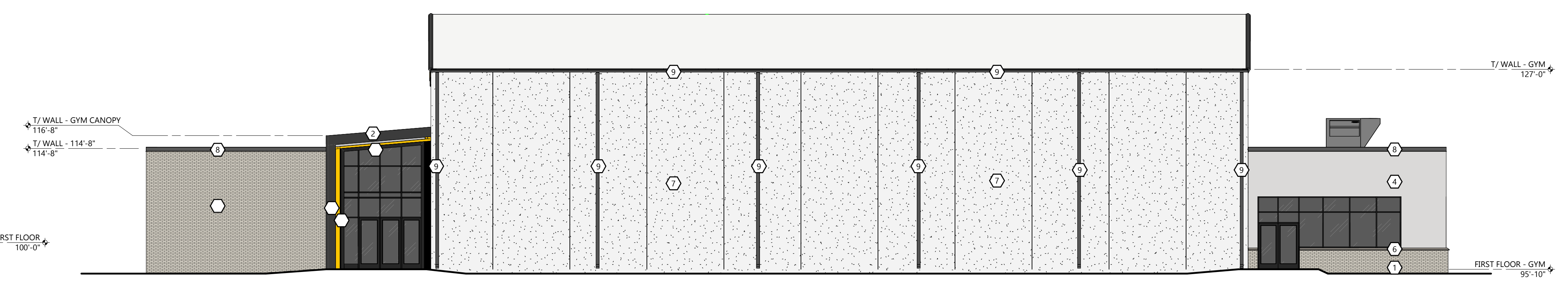
OVERALL SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



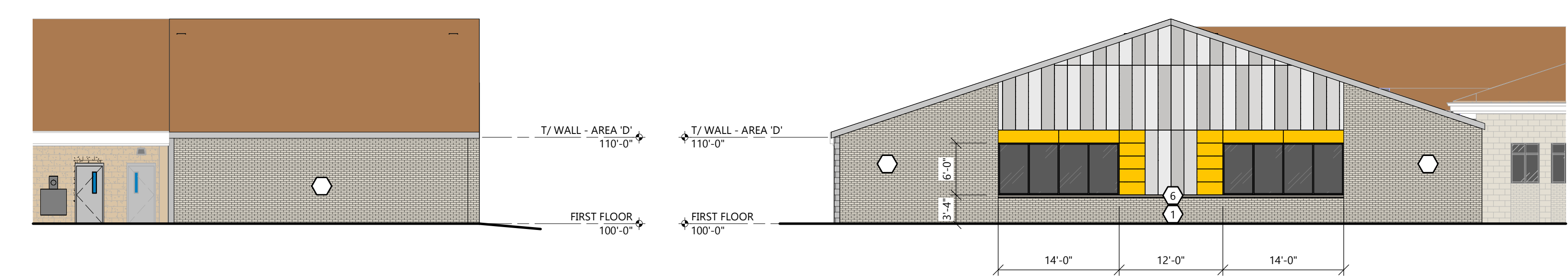
EAST ELEVATION
 SCALE: 3/32" = 1'-0"

GENERAL NOTES

- SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION
- REFERENCE EXTERIOR ELEVATIONS FOR VENEER CONTROL JOINTS. SEE STRUCTURAL PLANS FOR CMU CONTROL JOINT LOCATIONS. VENEER CONTROL JOINTS AND CMU CONTROL JOINTS ARE NOT REQUIRED TO ALIGN.

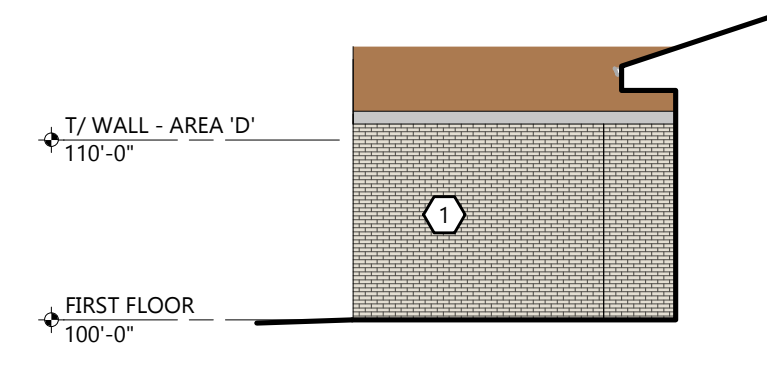
EXTERIOR MATERIAL KEY

1	BRICK VENEER MFR: T.B.D. PRODUCT: T.B.D. COLOR: SEE RENDERING
2	ALUMINUM COMPOSITE MATERIALS MFR: MUZA PRODUCT: MZ-2000 COLOR: BLACK
3	ALUMINUM COMPOSITE MATERIALS MFR: MUZA PRODUCT: MZ-2000 COLOR: YELLOW
4	FIBER CEMENT PANELS MFR: NICHHA PRODUCT: ILLUMINATION DESIGN SERIES (AWP 3030) VERTICAL COLOR: LIGHT GRAY, DARK GRAY, WHITE PATTERN
5	FIBER CEMENT PANELS MFR: NICHHA PRODUCT: ILLUMINATION DESIGN SERIES (AWP 3030) HORIZONTAL COLOR: YELLOW
6	PRECAST SILL MFR: T.B.D. PROFILE: SEE DETAILS COLOR: SEE RENDERING
7	PRECAST WALL PANEL MFR: T.B.D. FINISH: PAINTED COLOR: WHITE
8	METAL COPING / FLASHING MFR: PAC-CLAD PROFILE: SEE DETAILS COLOR: BLACK
9	GUTTERS / DOWNSPOUTS MFR: T.B.D. PROFILE: SEE ROOF PLAN COLOR: BLACK

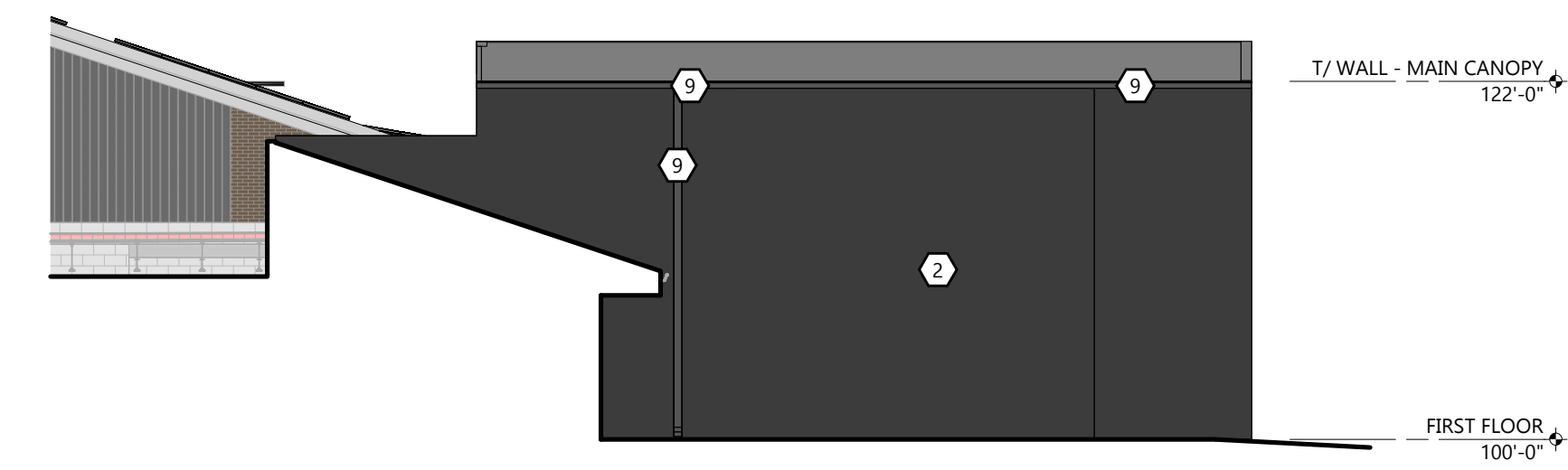


WEST ELEVATION - AREA 'D'
 SCALE: 3/32" = 1'-0"

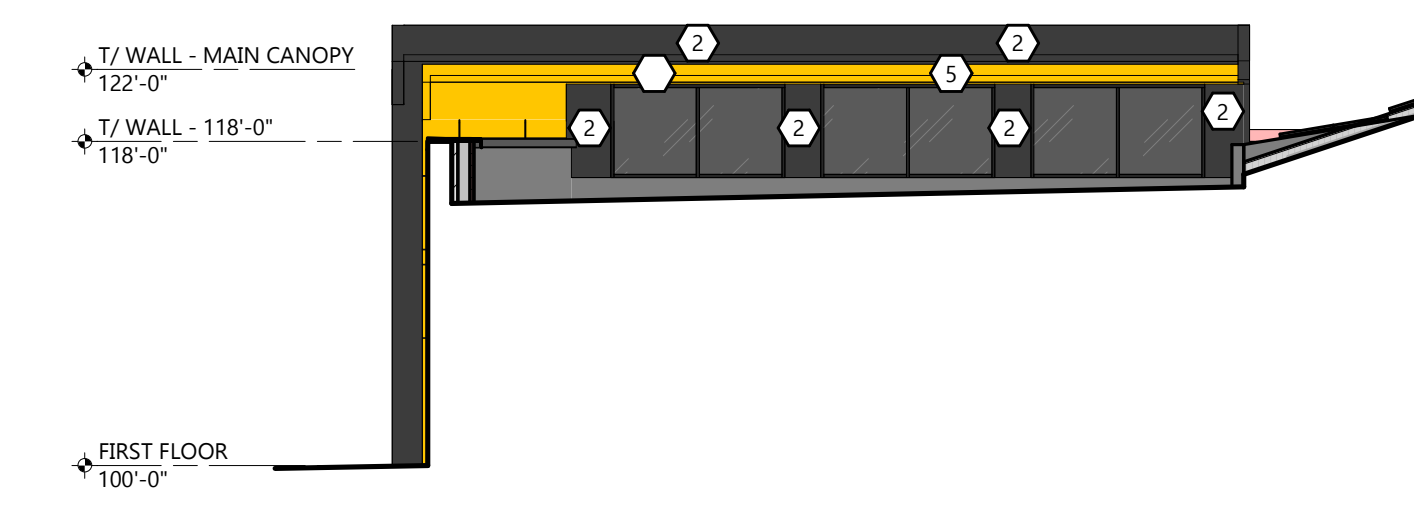
SOUTH ELEVATION - AREA 'D'
 SCALE: 3/32" = 1'-0"



EAST ELEVATION - AREA 'D'
 SCALE: 3/32" = 1'-0"



WEST ELEVATION - ENTRY
 SCALE: 3/32" = 1'-0"



EAST ELEVATION - ENTRY
 SCALE: 3/32" = 1'-0"









TO KNOW GOD AND MAKE
HIM KNOWN
1 MORE
LIFE 197
2024

JOBBOX



Opinion of Probable Cost
 Shoreland Lutheran - Offsite Water Main Extension
 Village of Somers

ITEM	APPROX. QUANTITY	UNIT PRICE	AMOUNT
MOBILIZATION	1 LS	\$20,000	\$20,000
CLEARING AND GRUBBING	1 LS	\$10,000	\$10,000
WATER MAIN (OPEN CUT)			
8-inch diameter	5 LF	\$150	\$750
12-inch diameter	3385 LF	\$150	\$507,750
WATER MAIN (DIRECTIONALLY DRILLED)			
8-inch diameter	300 LF	\$250	\$75,000
12-inch diameter	600 LF	\$500	\$300,000
16-inch diameter	100 LF	\$800	\$80,000
FIRE HYDRANT ASSEMBLY	10 EACH	\$7,800	\$78,000
FIRE HYDRANT BARREL EXTENSION	6 VF	\$900	\$5,400
GATE VALVE AND BOX			
8-inch	4 EACH	\$3,800	\$15,200
12-inch	9 EACH	\$4,500	\$40,500
BUTTERFLY VALVE AND BOX			
16-inch	1 EACH	\$8,400	\$8,400
CONNECTION TO WATER MAIN (NON-PRESSURE)			
16-inch	1 EACH	\$6,000	\$6,000
REMOVE AND REPLACE UNSUITABLE MATERIAL	100 CY	\$60	\$6,000
GRANULAR BACKFILL	390 LF	\$80	\$31,200
DRIVEWAY REMOVAL AND REPLACEMENT	1 LS	\$9,600	\$9,600
RESTORATION OF LAWNS	1 LS	\$10,000	\$10,000
EROSION AND SEDIMENTATION CONTROL	1 LS	\$15,000	\$15,000
TRAFFIC CONTROL AND PROTECTION	1 LS	\$20,000	\$20,000
		CONSTRUCTION SUBTOTAL	\$1,238,800
		CONTINGENCIES (15%)	\$185,200
		CONSTRUCTION TOTAL	\$1,424,000
		ENGINEERING (DESIGN & CONSTRUCTION)	\$80,000
		PROJECT GRAND TOTAL	\$1,504,000

Board of Water Commissioners

Dominic Ruffalo, Chairperson
Anthony Kennedy, Vice Chairperson
Brandi Ferree
Peni Keeling
Jack Rose
Bill Siel



Curtis Czarnecki
General Manager

4401 Green Bay Road
Kenosha, WI 53144
Phone (262) 653-4306
Fax (262) 653-4303

"Providing and Protecting Kenosha's Greatest Natural Resource"

November 14, 2024

To: Jason Peters, Village Administrator
From: Curt Czarnecki, General Manager
Subject: Shoreland Lutheran High School Proposed Addition

The Village of Somers contacted the Kenosha Water Utility regarding an addition to the Shoreland Lutheran High School campus. Village representatives indicated a condition of the approval was to extend municipal water service to the property in question and require the campus to connect to municipal sanitary sewer and water service. The Village requested the Kenosha Water Utility to review this development for compliance with the intergovernmental agreements in place.

After reviewing the intergovernmental agreement, it appears the requirement to extend municipal water service and connect the campus to municipal sanitary sewer and water does not conflict with the agreement provided the municipal sanitary sewer and water service is provided by the Kenosha Water Utility and not an alternative source. The Kenosha Water Utility has no objections to the conditions of approval for this proposed development.

Please contact me should you have any questions or concerns.

Sincerely,

A handwritten signature in black ink that reads "Curt Czarnecki".

Curtis Czarnecki

SOMERS FIRE & RESCUE

P.O. Box 197
Somers, WI 53171
(262-859-2277)



CHIEF
Benjamin Andersen

To: Village Board

Regarding: Shoreland Lutheran High School and municipal water

I Chief Andersen feel like there has been some misleading or misunderstood information floating around about what I have said about Shoreland Lutheran High School, municipal water and how it relates to their fire protection system. Below are my statements as it pertains to their water required for their fire protection system.

- For their addition Shoreland will have to submit plans to the state for their expansion of the buildings fire protection system.
 - The state will determine if the current well, tank, and pump system is capable of supplying the expanded system.
 - If the state deems the current system adequate, I have no authority to make them change anything including bringing water main to the site.
 - If the state deems the current system is not adequate, then Shoreland will have to create a system that will supply adequate water.
 - This could be done though a combination of things such as a larger well, larger storage tanks or other changes to the system onsite.
 - Or the option of connecting to municipal water.
- It was recently stated that Per NFPA 1 national fire code that a fire chief can make a property owner bring municipal water to a site. I do not believe this to be correct. In all of the research I have been able to do, a fire chief cannot make someone bring water to a site, however a fire chief can require that they connect once water is brought to the site. The code states that a water supply source capable of supplying the required fire flow shall be provided. The required fire flow and supply source capabilities is what the state plan review system will check. So, if they choose not to bring water now and it is brought to the site at a later date our Village of Somers Ordinance 16.28 requires, they connect the buildings fire protection system to the municipal water within 6 months. Ordinance shown below.
 - *§ 16.28NON-HYDRANTS AREAS.*
 - (A)
 - *Any building which is subject to the requirements of this chapter pertaining to automatic fire sprinkler systems or an automatic fire suppression system and which is located in a non-hydrant area of the Village of Somers (an area without public water mains), shall be provided with an approved source of water supply capable of providing a maximum pressure of 50 psi to the building's automatic fire sprinkler system(s) and/or automatic fire suppression system(s).*
 - (B)
 - *Should a public water main be installed at the site of an existing building which is protected by either an existing automatic fire sprinkler system or an existing automatic fire suppression*

SOMERS FIRE & RESCUE

P.O. Box 197
Somers, WI 53171
(262-859-2277)



CHIEF
Benjamin Andersen

system, the owner shall connect the existing system(s) to the public water main within six months of the date that the public water main is installed at the building site.

- When asked my opinion on whether I think Shoreland should be on municipal water I have said yes and here are some reasons why I feel that way.
 - Fire Chiefs would like to have municipal water and hydrants at all locations it makes our job easier and safer in the case of a fire.
 - If there is a fire at a building with sprinklers not connected to municipal water system we have to bring enough water tenders (tanker trucks) to supply our fire engine that is supplying our hoses as well as water tenders and an engine to supply the sprinkler system so it requires more resources to fight a fire in a sprinklered building that isn't connected to a water main system than one that is connected.
 - Municipal water is a more reliable source of water for a fire protection system.
 - The storage tanks in the current system can only supply water for so long before they run out. A municipal system is much less likely to run out of water.
 - It seems counter productive to do this large of an upgrade to the building and to put new parking lots in without installing the water because if the water main comes at a later time you have to connect anyways so you would likely have to cut into the parking lots and alter the buildings to bring the water into the buildings to connect to the fire protection system.

Attorney Jeffrey J. Davison

1207 55th Street
Kenosha, WI 53140
Telephone No. (262) 657-5165
Fax No. (262) 657-5517
dmltd@sbcglobal.net

Memorandum

TO: Jason Peters

FROM: Jeffrey J. Davison

CC: George Stoner, Jack Aupperle, Karl Ostby, Scott Fredrick, Joe Smith, Jackie Nelson, Ben Harbach

DATE: November 14, 2024

SUBJECT: Proposed Municipal Water for Shoreland Lutheran High School

You have requested that I provide to you a memo concerning the legal issues surrounding the extension of municipal water to the above proposed project. This memo will focus on the regulatory and contractual requirements which the Village must follow. Somers requires by ordinance that a developer bring municipal services to a proposed development. The potential inequality of hypothetical special assessments to benefitted property owners who do not seek municipal water and where the benefit may be outweighed by the cost, the pitfalls of attempting to service individual homes on individual private wells which would have to be abandoned as well as related topics as they all have been discussed by the Village Board. For purposes of the following discussion, I will assume that the Village is not interested in borrowing to enable the water main to be extended to the subject site based upon the comments of the Board and, of course, it is quite obvious that the Water Utility itself is not in a position to fund such an extension.

The first matter to be considered is the regulatory framework which the Public Service Commission (PSC) has put in place for the Water Utility's operations and specifically, for service and extensions. The Water Utility is required to enforce hookups to parcels where municipal water becomes available. Obviously, this is not only a health and safety requirement, it is important for the financial success of the Water Utility by acquiring new customers. As the subject site is not currently contiguous to a municipal water main, the standard which is imposed by the PSC, so the next relevant inquiry is what the

PSC requires with regard to water main extensions.

These requirements are contained in the PSC rate tariffs for the Village of Somers Water Utility and specifically in Amendment No. 13 Schedule No. X-2 and Schedule No. X-3, copies of which I have attached. As you can see from the water main extension rule, where the Village is unwilling or unable to fund the cost for the extension, it . . . “will be made on a customer-financed (i.e. developer) basis. . .” Developer must advance as the contribution for construction the total amount which would have been assessed for all benefitted property owners. In other words, the total project cost. The rule goes on to say that a portion of the contribution made by the developer will be refundable “when additional customers are connected to the extended main within 10 years of the date of completion . . .” Stated differently, this rule is not even as favorable to a developer as the cost recovery incentives which we have provided in Development Agreements to other developers and which we offered to this developer since it requires a connection which must be made within 10 years or forfeited.

Schedule No. X-3, Water Main Installation in Platted Subdivisions, requires that the developer shall be responsible for the total costs of construction in platted subdivisions whether the developer contracts for the construction or it is installed by the Village Utility. Given the recent historical issues which the Village Water Utility has had with PSC staff, my opinion would be that it is imperative that the Village insist that the extension of water mains to and within the subdivision be entirely developer funded if the Village is not willing to issue general obligation debt to construct the improvements. Although the PSC rules does not explicitly prohibit the installation of private wells in a platted subdivision, that concept would certainly seem to be contrary to the intent of the rules and the PSC staff interpretation may very well be that the Somers tariff requires installation of municipal water in platted subdivisions.

Next, I reviewed the contractual obligations between the Village and the Kenosha Water Utility/City of Kenosha under the various boundary and utility service agreements between those entities. Specifically, the City of Kenosha/Town of Somers Cooperative Plan under Section 66.0307, Wis. Stats. (the 2005 Boundary Agreement) and the accompanying 2005 Intergovernmental Agreement for orderly development by and between the City of Kenosha and Kenosha Water Utility, and Town of Somers Somers Water Utility and Somers Sewer Utility District (the 2005 Utility Agreement) as well as the 2017 City of Kenosha/Village of Somers/Town of Somers/Town of Paris/County of Kenosha/Kenosha Water Utility/Village of Somers Water Utility/Village of Somers Sewerage District/County Highway Commissioner Cooperative Plan and Intergovernmental Agreement under Sections 66.0301, 66.0305 and 66.0307, Wis. Stats. (the Comprehensive Boundary Agreement). The 2017 Comprehensive Boundary

Agreement creates an obligation for the Village to become the successor in interest to both the 2005 Boundary Agreement and the 2005 Utility Agreement (since the Village was incorporated after those dates) and is replete with references concerning the orderly planning for land development including the extension of municipal utilities.

The 2005 Boundary Agreement discusses the orderly development of utilities and provision of municipal water and sewer to the then-Town under the terms of the 2005 Utility Agreement. The 2005 Utility Agreement, among other things, provides that the Kenosha Water Utility shall provide municipal water service in the “potential Town service area” and that all plans and specifications for water distribution facilities must be reviewed and approved by the Kenosha Water Utility. The site of the proposed development is within the “potential Town service area” as depicted on the exhibits to the Agreement. The Agreement also provides that the Town (now Village) Water Utility adopt and be bound by all of the rules and regulations of the Kenosha Water Utility, which are extensive and are contained in Chapter 32 of the City of Kenosha Code of Ordinances entitled “Kenosha Water Utility Water and Sewerage Systems”. These ordinances adopt verbatim the PSC municipal water extension rules and platted subdivision rules.

Shoreland Lutheran High School has made this request in order to expand their facility.

Finally, the then-Town and now Village of Somers adopted Sections 13.48 and 13.49 of the Code of Ordinances requiring all new construction situated within the Water Utility District and in which the extension of public water may be deemed feasible be connected to the public water supply and requiring that municipal water be constructed for all new subdivisions. Based upon all of the foregoing, it would be my opinion that the regulatory requirements of the PSC, the contractual obligations between the Village and the City of Kenosha and the Village’s own ordinances would prohibit the installation of private wells in this development and would require the developer fund main extensions to the extent that the Village chooses not to fund such a project.

I am hopeful that the foregoing has been responsive to your inquiry. Should you have any questions, please do not hesitate to contact me.

RATE FILE

Sheet No. 1 of 1

Public Service Commission of Wisconsin

Schedule No. X-2

Village of Somers Water Utility

Amendment No. 13

Water Main Extension Rule

Water mains will be extended for new customers on the following basis:

- A. Where the cost of the extension is to immediately be collected through assessment by the municipality against the abutting property, the procedure set forth under Wis. Stat. § 66.0703 will apply, and no additional customer contribution to the utility will be required.
- B. Where the municipality is unwilling or unable to make a special assessment, the extension will be made on a customer-financed basis as follows:
 - 1. The applicant(s) will advance as a contribution in aid of construction the total amount equivalent to that which would have been assessed for all property under paragraph A.
 - 2. Part of the contribution required in paragraph B.1. will be refundable. When additional customers are connected to the extended main within 10 years of the date of completion, contributions in aid of construction will be collected equal to the amount which would have been assessed under paragraph A. for the abutting property being served. This amount will be refunded to the original contributor(s). In no case will the contributions received from additional customers exceed the proportionate amount which would have been required under paragraph A., nor will it exceed the total assessable cost of the original extension.
- C. When a customer connects to a transmission main or connecting loop installed at utility expense within 10 years of the date of completion, there will be a contribution required of an amount equivalent to that which would have been assessed under paragraph A.

EFFECTIVE: October 20, 2017
PSCW AUTHORIZATION: 5545-TW-100

RATE FILE

Sheet No. 1 of 1

Public Service Commission of Wisconsin

Schedule No. X-3

Village of Somers Water Utility

Amendment No. 13

Water Main Installations in Platted Subdivisions

Application for installation of water mains in regularly platted real estate development subdivisions shall be filed with the utility.

If the developer, or a contractor employed by the developer, is to install the water mains (with the approval of the utility), the developer shall be responsible for the total cost of construction.

If the utility or its contractor is to install the water mains, the developer shall be required to advance to the utility, prior to the beginning of the construction, the total estimated cost of the extension. If the final costs exceed estimated costs, an additional billing will be made for the balance of the cost due. This balance is to be paid within 30 days. If final costs are less than estimated, a refund of the overpayment will be made by the water utility.

EFFECTIVE: October 20, 2017
PSCW AUTHORIZATION: 5545-TW-100



**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: February 4th, 2025

TO: Village President Stoner and Board of Trustees

PREPARED BY: Jason J. Peters, Administrator

AGENDA ITEM: #6 Update on Somers Gateway project (Hotel and Travel Center) and discussion on development agreement and permitting

BACKGROUND:

In July of 2024, the Board conditionally approved the Somers Gateway project at the NE corner of CTH E and East Frontage Road. The project would include a fueling/gasoline service station with associated convenience store, restaurants and drive-throughs in addition to a hotel. Golden Oil will be constructing the convenience store and Dr. Bhatara constructing the hotel. As is the Village's standard practice, no permits to go vertical are issued until a development agreement is executed.

This fall, Golden Oil was granted a grading permit for the site. They were informed that while allowed without a development agreement they were moving forward at their own risk as a development agreement had not been executed. They choose to move forward.

On January 7th, the Board was given updates on all our development in the Village. The Board expressed concern that we have not heard from the Hotel Developer. Administration was informed that no more early start permits should be granted until the Village had received assurances that the Hotel was still coming.

UPDATE:

Since this time, Administration has met with the Hotel developer. The developer is still working to get their construction costs so that he may obtain his construction loan. In the meantime, the Developer has provided information as to his finances and availability to use this as collateral for this construction loan.

Administration has also worked with Golden Oil and their counsel on potential language for a development agreement. As you may recall, both Golden Oil and the Hotel project indicated that they would be asking for TID assistance. In their first draft, Golden Oil had requested approximately \$7 million in TID assistance from TID #8. This is not possible

within this district for three reasons. One, the increment created by the hotel and convenience store does not create enough increment. Two, the remaining years on TID #8 does not support that high of repayment. Three, TID #8 was to be the contributing TID to the payback of Tawani's letter of credit. As a reminder, the Village is contractually obligated to pay this back by 2031.

Administration has worked with Ehlers to run scenarios for the payback of the letter of credit. As a reminder, this is paid back through a combination of special assessments and the use of TID increment. If no other project costs are incurred in TID #3 and TID #6, we are confident that the letter of credit can be paid off by our contractual obligation. Administration would still be cautious as to using all of TID #8 potential increment for these projects.

COMMENTS:

The above information has been provided to evidence that all parties are moving forward in the process of finalizing each development agreement. The Board has stated that no additional permits should be granted to Golden Oil until a development agreement has been reached with the hotel developer. Golden Oil has request that they be issued a temporally electrical permit and an early footing and foundation permit in the interim while we work towards the eventual development agreements with both parties. Administration's recommendation is that if these permits are allowed to go forward that a memorandum of understanding be executed between the parties to evidence that permits to go vertical will not be issued until their final development agreements are executed.

Administration has requested that Golden Oil and the Hotel be in attendance, if the Board has any questions.

ATTACHMENTS:

NONE

**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: Feb. 4, 2025

TO: Village President Stoner and Board of Trustees

PREPARED BY: Kevin Poirier, Assistant to Administrator

REVIEWED BY: Jason J. Peters, Administrator

AGENDA ITEM: #7 Discuss website features that would allow direct notifications of residents.

BACKGROUND:

Part of the 2025 Budget approved by the Board includes money for updating the Somers.org website. The site was redesigned five years ago. It is overall still working properly, but some functions have started to break down as it is running on older software, Dooley and Associates suggested updates and upgrades as well as new functionalities:

- Update menus to make them more user friendly
- Change the settings of the site index to make the search bar more efficient
- Update plugin to make the website more user friendly on mobile devices
- Some minor design to refresh page flow
- Setup a graphic to maximize appeal when sharing on social media
- Evaluate software for efficiency and get rid of unnecessary ones

UPDATE:

Administration has had two meeting with Dooley and Associates to talk about what additional features could be added to the website. One of the requests we have received from some residents is to be notified of important events through email or text and receive the newsletter via email.

We currently put a banner on our site when we declare a snow emergency, but residents need to visit the website to see it. This option would send residents who opt-in a text message.

Any resident wishing to receive these notices would opt-in voluntarily and be removed upon request.

Either one of these features would require that the Village gather and store personal information such as names, cell phone numbers and/or email addresses. These could be the subject of freedom of information requests.

COMMENTS:

Administration needs direction from the board as to whether these additional functions requested by residents are something that should be added.

ATTACHMENTS:

None



**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: Feb. 4, 2025

TO: Village President Stoner and Board of Trustees

PREPARED BY: Josh Sullivan, Public Works Superintendent

REVIEWED BY: Kevin Poirier, Assistant to the Administrator

AGENDA ITEM: #8 Discuss the Village of Somers Snow and Ice Removal Policy

BACKGROUND:

The current Snow Plowing and Street Salting Policy dates to 2001. Since then the community has changed. There are new roads, subdivisions and more traffic through the Village.

The current Snow Plowing and Street Salting Policy is outdated. It was written when Somers was only a Town and a fraction of the roadways that are now present existed. The resident population, along with those passing through were also lower. With development over the last several years throughout the Village as well as neighboring communities, travel throughout the Village and Town has increased greatly.

UPDATE:

The Public Works Department would like to submit a revised Snow and Ice Removal Policy as well as discuss overall salt usage and the current scope of plowing operations. Increased traffic volume calls for a more proactive rather than reactive approach to plowing and salting. Roads being clear, rather than just passable, allows both residents and non-residents to travel safely throughout the Village and Town.

This approach also aids Emergency Services including the Kenosha County Sherriff's Department and the Village of Somers Fire Department to safely and efficiently move throughout the Village during and post inclement weather.

It has come to the department's attention that concerns over the amount of salt being used have been brought to the Village Board. We acknowledge that there may be residents that prefer salt not be used to treat roadways, but there are also many who welcome clear roads. During plowing operations, the Public Works Department follows WIS DOT

recommended salt application rates of 100-300 pounds per lane mile. On “Main Roads” (attached) a salt application rate of 300 pounds per lane mile is used when applied. On all other Village and Town roads a salt application rate of 100 pounds per lane mile is used when applied.

Total salt usage throughout the winter seasons over the last seven years have also stayed relatively stable with a slight decrease in overall salt usage, as can be seen on the attached table “Seasonal Salt Usage.” The total price per year associated with salt purchasing has also followed this same trend over the last seven years, as can be seen on the attached table “Seasonal Salt Purchasing.” While the price per ton of delivered salt has increased 39.65 percent from 2018-2024, the stability of our salt usage and spending is an example of our commitment to effectively keep the roadways clear and safe while taking into consideration environmental impacts as well as associated costs.

COMMENTS:

The department has also continued to explore other options to aid in our plowing operations, most recently being pavement temperature sensing equipment. These sensors would provide accurate, real-time road surface temperature information to the plow operator, aiding in the proper deployment of de-icing materials. We have currently received a quote for the equipment through the company PreCise MRM, a subsidiary of Force America, which is the main operating system present in our plow trucks.

Lastly, attached are the department’s current plow routes, to give an overall scope of the area covered during plowing operations.

ATTACHMENTS:

Proposed policy

Salt Usage

Main and Plow Routes

2001 Resolution

Proposed Snow and Ice Removal Policy

Snow removal operations vary greatly depending on a variety of factors. Anticipated duration and intensity of the storm, wind speed, type of precipitation, and pavement temperature must be taken into consideration before launching a snow removal event.

The Village of Somers Department of Public Works strives to maintain safe conditions for both pedestrians and vehicular traffic, balancing the cost of snow removal operations using the most efficient methods possible against the threats to public safety caused by adverse weather conditions.

The Department of Public department mainly uses rock salt to break the bond between the pavement and ice and will spread salt during the storm to keep ice from forming on the plowed surfaces. What surface treatments are used, how long they are used for, where they are applied, and the number of vehicles dispatched is dictated by actual road conditions.

The Kenosha County Sheriff's Department notifies the Village of areas where hazardous conditions exist. To keep on top of weather conditions the Department of Public works with the Sherrif's department to respond as soon as possible to hazardous road conditions.

Snowfall of two inches or more will generally prompt plowing procedures to start. However, exceptions are made for storms based on the driving hazards they cause. For example, if at the onset of the storm there is freezing rain or icing conditions surface treatments will be applied.

The Department of Public Works relies on the experience of its employees to make the best decisions as to what equipment to use, the type of surface treatments needed, and when to mobilize snow removal and ice prevention equipment. During the week the Public Works Superintendent will determine the resources needed to ensure safe travel conditions within the Village. On the weekends, the decision may be made by the Department of Public Works Superintendent or Foreman depending on who is on call.

Seasonal Salt Usage	
Year	Total Tonnage Used
2018 -2019	642
20-19-2020	404
2020-2021	549
2021-2022	465
2022-2023	381
2023-2024	151
2024-2025	202 (up to this point)

*** Annual average salt usage of 399 tons**

Seasonal Salt Purchasing		
Year	Total Tonnage Purchased	Cost
2018 -2019	620 ton	\$37,021.64
20-19-2020	497 ton	\$31,389.55
2020-2021	620 ton	\$40,745.36
2021-2022	599 ton	\$40,559.07
2022-2023	474 ton	\$34,798.40
2023-2024	498 ton	\$39,911.51
2024-2025	408 ton	\$34,046.68

*** Annual average price of purchased salt - \$36,924.60**

Main Roads Routes

West:

- **100th Avenue** (Hwy KR to Hwy 142)
- **18th Street** (100th Avenue to Hwy H)
- **113th Ave and 28th Street** (New Kwik Trip)
- **4th Street & 113th Avenue** (Oakdale Estates)
- **56th Avenue** (Hwy 31 to Hwy KR)
- **58th Avenue – Hawthorne** (Hwy 31 to Hwy E)
- **31st Street** (off of Hwy 31 between Festival and Walmart)
- **45th Street** (Valley View, off of Hwy 31, south of Hwy 142)

East:

- **Old Green Bay Road** (Hwy 31 to Hwy KR)
- **4th Street/Corbett Road** (Old Green Bay Road to Wood Road)
- **Pet's Subdivision** (6th street hill)
- **13th Avenue** (Hwy A to Hwy KR)
- **Truck Route** (Sheridan Road to Cemetery property)
- **25th Avenue** (Hwy E to 14th Place)
- **41st Avenue** (15th Street to 18th street)
- **15th Street** (41st Avenue to 47th Avenue)
- **47th Avenue** (15th Street to Hwy 142)
- **22nd Street** (47th Avenue to Hwy 31)
- **24th Street** (47th Avenue to 39th Avenue)
- **27th Street** (39th Avenue to 30th Avenue)
- **Oak Forest and Eaglewood** (Hills & Curves)

Plow Routes

Truck 25 – 2

- **100th Avenue** (Hwy KR – Hwy 142) & **18th Street** (100th Avenue – Hwy H)
- **4th Street & 113th Avenue** (Oakdale Estates, off of East Frontage Road and Hwy KR)
- **102nd Avenue** (Dead End off of Hwy 142, West of 100th Avenue)
- **96th Avenue & 37th Place** (Dead End off of Hwy 142, East of 100th Avenue)
- **113th Avenue & 28th street** (off of Hwy 142 and the East Frontage Road, by the New Kwik Trip)
- **18th Street** (Becknell Property, from East Frontage Road to dead end)
- **118th Ave & 11th Place** (off of East Frontage Road by Yutka Fence)
- **119th Court** (off of East Frontage Road by Mobile Oil)
- **Maple Ridge & Country Charms Subdivisions** (off of 100th Ave and Hwy E)
- **11th Street** (Dead End off of Hwy H)
- **11th Place & 87th Avenue** (Off of Hwy H)
- **10th Place** (Dead End off of Hwy H)
- **12th Place, 82nd & 80th Avenues** (off of Hwy H)

Truck 54 – 44

- **Hawthorne Subdivision** (off of Hwy E and Green Bay Road)
- **Savannah Subdivision** (off of 18th and Hwy 31)
- **31st Street** (off of Hwy 31 by Festival & Walmart)
- **38th Street Dead End** (off of Hwy 142 on the North side of the road, East of Hwy H)
- **Valley View Subdivision** (off of Hwy 31 & 45th Street)
- **16th Place** dead end (off of Hwy 31)
- **53rd Avenue & 13th Street (Parkside Springs Subdivision**, off of Hwy E, east of Hwy 31)
- **52nd Avenue** dead end (off of Hwy E)
- **Lichter's Subdivision** (Off of Hwy E, West of Hwy 31)

Truck 54 – 43

Truck Route – Old Sheridan Road (Sheridan Road at the Cemetery) & **Birch Road** (Truck Route to East side of railroad tracks)

- **25th Avenue** (Hwy E to 14th Place) & **14th Street**
- **Fare Field Subdivision:**
 - **41st Avenue** (15th street to 18th street)
 - **15th Street** (41st Avenue to 47th Avenue)
 - **47th Avenue** (15th street to 18th street)
 - **Everything in between**
- **47th Avenue** south of 18th Street to Hwy 142,
 - **22nd Street** (47th Avenue to Hwy 31)
 - **24th Street** (47th Avenue to 39th Avenue)
 - **25th Place** dead end
 - **27th Street** (39th Avenue to 30th Avenue)
- **Oak Forest & Eaglewood Subdivisions** (off of Hwy E)

Truck 25-1

- **Old Green Bay Road** (Hwy 31 to Hwy KR)
- **Corbett Road/4th Street** (Old Green Bay Road to Wood Road) **38th Avenue & 49th Avenue** dead ends
- **Pet's Subdivision** (off of Hwy A)
- **Whispering Meadows Subdivision** (off of KR & 22nd Avenue)
- **Golf Glenn Subdivision** (off of Hwy A & 22nd Avenue)
- **Covelli's Heights Subdivision** (off of 22nd Avenue, south of Golf Glenn)
- **Somer's Estates Subdivision** (off of Hwy E & 22nd Avenue)

Truck 54 – 45

- **4th Place and 56th Avenue** (off of Hwy 31 to Hwy KR) & **Pike's Subdivision**
- **13th Avenue** (Hwy KR to Hwy A)
- **Hwy KR dead ends:**
 - **1st Way & 67th Ave**
 - **43rd Avenue & 1st Place**
 - **33rd Avenue**
 - **28th Avenue**
 - **26th Avenue**
 - **11th Avenue**
 - **8th Court**
 - **Lakeshore Drive** from Hwy KR south to the cul-de-sac
- *Help 1-ton on Sheridan Road dead ends, work north to south and meet in the middle*

1-Ton Truck 54 – 29

- **12th Avenue** (off of Truck Route)
- **Sheridan Road dead ends:**
 - **17th Street**
 - **16th Place**
 - **16th Street**
 - **15th Place**
 - **14th Place**
 - **13th Place**
 - **13th Street**
 - **12th Place**
 - **11th Place**
 - **11th street**
 - **10th Place**
 - **10th Street**
 - **9th Place**
 - **9th Street**
 - **8th Place**
 - **8th Street**
 - **6th Place**
 - **6th Way**

1-Ton Truck 54 – 9 or Pickup with plow

- **Maintain** - Town Hall, Fire Department #1, and Public Works Lots
- Fire Station #2 Lot

Resolution No. 1-01

TOWN OF SOMERS SNOW PLOWING AND STREET SALTING POLICY

Whereas; the Town of Somers recognizes the need of Town road maintenance and upkeep and;

Whereas; a part of the on-going maintenance involves the plowing of snow and control of icing conditions for safe vehicular movement.

Now; therefore be it resolved that the following policy direct such operations.

SNOW PLOWING (STREET HEIRARCHY)

Major streets such as: 100th Avenue, 47th Avenue, Corbet Road, Sheridan Road/Birch Road, 18th Street, 15th Street, and those which facilitate as arterial or collector streets shall be plowed first.

Neighborhood streets shall be plowed after Major streets and shall be those, which are a part of a subdivision or grouped neighborhood, allowing for contiguous plowing.

Dead end streets and/or dead end cul-de-sacs shall be plowed concurrently with neighborhood streets.

SALTING OPERATIONS

Road salt may be applied at intersections of all Town roads during snowstorms or periods of snow accumulation on road surfaces at distances to ensure safe vehicular control.

At completion of snowplowing operations following a snowstorm or snow accumulation period, Town Public Works Crews may apply salt 100 feet from all intersections only. Town Public Works Crews shall apply salt along major streets as may be needed to maintain safe driving conditions on those roadways.

Dated this 23rd day of January, 2001.

Members voting aye _____
Members voting nay _____
Members absent _____

Town Chairman

Town Clerk/Treasurer



**VILLAGE OF SOMERS
VILLAGE BOARD
WORK SESSION ITEM MEMORANDUM**

WORK SESSION: February 4th, 2025

TO: Village President Stoner and Board of Trustees

PREPARED BY: Jason J. Peters, Administrator

AGENDA ITEM: #9 Discuss decorum and procedure for Citizen Comment period of Board Meetings

BACKGROUND:

At our January 28th Board Meeting Trustee Fredrick requested time at our February 4th Work Session to discuss the Citizen Comments section of our Board Meetings.

COMMENTS:

This matter was previously discussed in 2019. The Board passed Ordinance 19-001 to update section 2.03 which governs “Conduct of Meetings. The new Section 2.03(A)(8) ensured that our ordinance conforms to the proposed Sign-in Sheet. The previous section 2.03 was somewhat vague as to procedure and the goal of the amended 2.03 is to create a more effective dialogue between the Village and its Citizens.

ATTACHMENTS:

Ordinance 19-001 Section 2.03(A)(8)

Sign In Sheet

ORDINANCE NO. 19-001

AN ORDINANCE TO REPEAL AND RECREATE SECTION 2.03(A)(8)
OF THE CODE OF ORDINANCES OF THE VILLAGE OF SOMERS
REGARDING CITIZEN'S COMMENTS AT MEETINGS

The Village Board of Trustees of the Village of Somers, Kenosha County, Wisconsin, hereby repeals and recreates Section 2.03(A)(8) of the Code of Ordinances of the Village of Somers to read as follows:

- (8) Citizen's comments.
 - (a) Procedure.
 - (i) Members of the public hearing wishing to address the Village of Somers Board are required to fill out a Registration for Participation in the Public Comment segment of the Board Agenda and present same to the Clerk/Treasurer prior to the start of the Village Board meeting.
 - (ii) Only those persons who have filled out the required registration form and presented it to the Clerk/Treasurer will be allowed to address the Village Board unless this requirement is waived by a majority of the Village Board.
 - (iii) A person shall be allowed to speak only once during the public comment period but may, at the discretion of the President and consent of the Trustees, be allowed to address the Board for additional comments.
 - (iv) Each registrant will be allowed a maximum of five (5) minutes to address the Village Board on the topic they have listed on their registration form.
 - (v) Village Board members are not to ask questions or engage in debate with the registrant.
 - (vi) Any materials which a person wishes Village Board members to review must be given to the Village Clerk/Treasurer prior to the meeting for distribution.

(vii) The Village Board President or other presiding officer, at their discretion, may refer the registrants to staff for follow-up on any information presented.

(b) Proper Decorum. Proper decorum must be observed by speakers in providing testimony and remarks during any public comment period. Speakers are expected to conduct themselves with civility and to accord a measure of dignity and respect.

(i) The Village Board President shall keep control of the meeting and require speakers and audience to refrain from abusive or profane remarks, disruptive outbursts, applause, protests or other conduct which disrupts or interferes with the orderly conduct of the business of the meeting.

(ii) Personal attacks on Village Board Trustees, Village staff, other officials or members of the public are not allowed. Engaging in such conduct will be grounds for ending a speaker's time at the podium or removal from the meeting room at the discretion of the Village Board President.

Dated at Somers, Wisconsin, this _____ day of _____, 2019.

VILLAGE OF SOMERS

By: _____
George Stoner, President

Attest: _____
Timothy Kitzman, Clerk/Treasurer



Village of Somers Board of Trustees
Public Comment Registration to Participate

The Village of Somers Board of Trustees is interested in hearing from members of the public. In order to facilitate this process, a period of time has been set aside at the beginning of each Village Board meeting to allow members of the public to speak to the board on any topic.

The following guidelines are to be adhered to in order to ensure an opportunity to the general public to address their Village Board. Your cooperation in following these guidelines is appreciated.

(Please print answers to all questions)

1. Date: _____

2. Name: _____

3. Street Address: _____

4. City, State, Zip Code: _____

5. Telephone (optional): _____

6. Email (optional): _____

7. Item on Agenda you wish to Speak **OR** Topic **OR** Comments:

(Please See Back of Page for Guidelines)



Guidelines

1. Members of the public wishing to address the Village of Somers Village Board are required to fill out a Registration for Participation in the Public Comment segment of the Board Agenda and present same to the Clerk prior to the start of the Village Board Meeting.
2. Only those persons who have filled out the required registration form and presented to the Clerk will be allowed to address the Village Board.
3. A person may speak only once during the public comment period.
4. Each registrant will be allowed a maximum of five (5) minutes to address the Village Board on the topic they have listed on their Registration Form.
5. Village Board members are not to ask questions or engage in debate with the registrant.
6. Any materials which a person wish Village Board members to review must be given to the Clerk/Treasurer prior to the meeting for distribution
7. The President or other presiding officer at their discretion, may refer the registrants to staff for follow-up on any information presented.

The following Rules of Decorum shall apply to the Public Comment period of the Village Board Meeting:

- Proper decorum must be observed by speakers in providing testimony and remarks during any public comment period. Speakers are expected to conduct themselves with civility and to accord a measure of dignity and respect.
- The President shall keep control of the meeting and require speakers and audience to refrain from abusive or profane remarks, disruptive outbursts, applause, protests, or other conduct which disrupts or interferes with the orderly conduct of the business of the meeting.
- Personal attacks on the Village Board Trustees, Village staff, other officials or members of the public are not allowed.
- Engaging in such conduct will be grounds for ending a speaker's time at the podium or removal from the meeting room at the discretion of the President.

I have read and agree to the terms set above _____ Date _____

Thank you for your Cooperation

Village of Somers
7511 12th Street
Somers, WI 53171

Village Board Meeting
Tentative Agenda
Tuesday, February 11th, 2025
5:30 p.m.

Village Board Meeting:	
Item #	
1	Call to order
2	Pledge of Allegiance
3	Consent and Approval of Minutes of Regular meetings on January 28 th , 2025, Vouchers dated January 30 th , 2025 and February 6 th , 2025
4	Correspondence:
5	Citizens Comments
6	President and Trustee Comments
7	Action on Operator's License: Kyle Borg
8	Adjourn

I hereby certify that as the designee of the chief elected official of the Village of Somers, I posted this notice of the February 11th, 2025 Village Board Meeting & **Tentative** Agenda in 1 public place & on the Village website.

Dated this 31st day of January 2025

Wendy Burnette, Clerk-Treasurer

Requests from person with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at 262-859-2822 with as much notice as possible. **Notice is hereby given that members of the Village Board may participate telephonically. Notice is hereby given that members of the Town Board may be in attendance for the sole purpose of gathering information. A quorum may be present. However, no Board action will be taken.**