

**Village of Somers
7511 12th Street
Somers, WI 53171**

**Village Plan Commission
Meeting Agenda
Monday, August 8, 2022
5:30 P.M.**

1. Call to order
2. Pledge of Allegiance
3. Approve Minutes from July 11, 2022
4. Correspondence
5. Citizen Comments

6. **Conditional Use Permit:**

Public Hearing and Action on Request by: Somers USA, LLC, 1170 22nd Avenue, Kenosha, WI 53140 (Owner), Ted Gement, BP Kenosha Travel Plaza, 1170 22nd Avenue, Kenosha, WI 53140 (Agent); **requesting an amendment to a previously approved Conditional Use Permit to allow alcohol consumption on the premises in the B-3 Highway Business District** on Tax Parcel # 82-4-222-193-0202 located in the southwest quarter of Section 19, Township 2 North, Range 22 East, Village of Somers. For informational purposes only, this property is located on the northwest corner of the intersection of 120th Avenue (the east frontage road of I-94) and County Trunk Highway “S”.

7. **Site Plan Review & Exterior Fenestration:**

Action o request by: RCG SOMERS LLC, 3060 Peachtree Rd NW Ste 400, Atlanta, GA 30305 (owner), Jeana Kedrowski, ISG, Inc., 7900 International Drive, Ste 550, Bloomington, MN 55425 (Agent), **requests approval of a site plan and exterior fenestration for a proposed car wash** on Tax Parcel 82-4-222-271-0339, located in the NE ¼ of Section 27, T2N, R22E, Village of Somers.

8. Adjourn

I hereby certify that as the designee of the chief elected official of the Village of Somers, I posted this notice of the July 11, 2022 Village Plan Commission Meeting in 1 public place & on the Village website.

Dated this 1st day of August 2022

Brandi Baker Clerk/Treasurer

Requests from person with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at 262-859-2822 with as much notice as possible. Notice is hereby given that members of the Plan Commission members may participate telephonically. Notice is hereby given that members of the Village & Town Board may be in attendance for the sole purpose of gathering information. A quorum may be present. However, no Board action will be taken.



**Village of Somers
Proceeding from the Village Plan Commission Meeting
July 11, 2022**

1. Call to Order

Chairman Stoner called the meeting to order at 5:30 p.m.

Present: Chairman George Stoner, as well as Commissioners Aiello, Gardinier, Boxx, Lee, and Grimes. Commissioner Fredrick came at 5:43 p.m.

Staff Present in person: Administrator Jason Peters, Assistant to the Administrator Cassandra Bodenbach, and Fire Chief Ben Andersen.

Kenosha County Planners: Luke Godshall

2. Pledge of Allegiance

Chairman Stoner led everyone in stating the Pledge of Allegiance.

3. Approve Minutes of June 13, 2022

Commissioner Boxx moved to approve to the Minutes from the June 13th Meeting. Seconded by Commissioner Aiello. Motion carried. 6-0 vote.

4. Correspondence

Email from Steve Lichter.
Letter from Residents with signatures.

5. Citizen Comments

None.

6. Conditional Use Permit:

Public Hearing and Action on Request by: Eclectic LLC, PO Box 78, Somers, WI 53171 (Owner), Justin Traugher, PO Box 78, Somers, WI 53171 (agent), requesting a Conditional Use Permit amendment to allow for outside amplified music in the B-2 Community Business Dist. on Tax Parcel # 82-4-222-162-0010, located in the NW ¼ of Section 16, T2N, R22E, Village of Somers. (For information purposes only, this property is located at 8013 12th Street.)

Public Hearing was opened at 5:31 p.m.

Public Comment:

George Wojtak, 8111 12th Street

Mr. Wojtak brought a letter from June 17, 2022 in response to J&M's letter that is on file with the Clerk. The letter contained complaints about noise, fights, traffic, and parking at the establishment along with eleven (11) signatures of surrounding residents agreeing to said complaints.

Jim Tabbert, 8114 12th Place

Jim's house is directly in the path of the amplified music and current music that drifts from the establishment. He is not in favor of the amplified music being discussed. Mr. Tabbert did not want music to go past 9 pm. The patio conditions as they are, are fine.

Linda Wawiorka, 8101 12th Street

Linda is not against the music but has severe concerns with the parking lot situation. Most of the easement is blocked daily as well as burnouts happening past 2 a.m. She understands that what happens in the parking lot after hours is out of the owner's control to a degree.

Justin Traughber, 8013 12th Street

Justin has owned J&M's for two years and been a part of the establishment for twenty (20). In the last two years, there have only been two incidents. There is an annual party hosted and I am just looking for one or two people singing with a guitar and maybe a speaker: possibly Saturday and Sunday afternoons. I submitted a seven-page, detailed letter, site plan, etc., with the application to the Village. I work 67 hours a week and if the music is too loud, I will turn it down. I donate my time to my community and run fundraisers for residents, neighbors, and friends. All these complaints are shocking and slanderous because everyone has been misinformed and interpreting it to others, skewing it more.

Public Hearing was closed as 5:47 p.m.

Commissioner Boxx moved the motion to request a Conditional Use Permit amendment to allow for outside amplified music. Seconded by Lee.

Commissioner's Discussion:

Commissioner Lee supports the neighbors, but if it is not amplified music there is room for compromise. Parking seems to be a bigger issue and where does the Village stand?

Commissioner Fredrick: asked Justin if there were bands. Justin responded, no, there will be none. Fredrick anticipated this may happen after the approvals for the biergarten and received several emails from residents concerned about J&M's request for amplified music. He is in agreement that the parking is an issue, especially if there will be more draw with the entertainment. Will the occupancy limit be exceeded?

Commissioner Aiello: Commission Fredrick addressed his concern on exceeding the occupancy limit. Kenosha is cracking down on it. Bring more patrons which will bring more vehicles, so we need to be cognoscente of homeowners in the area. I am not in favor of every week, but special events seem fine – a few selected days.

Commissioner Boxx: A long-time customer of Justin's, but your neighbors were there long before you and appreciate what you want to do. However, you knew what you were buying. Just giving the location and proximity of neighbors, I could not agree to amplified or live music. Considering the proximity of the neighbors, I wouldn't agree to any music at all.

Commissioner Grimes: Also sensitive to the neighbors. Possibly limit the time and agree to a two-year probationary period? Tell the Sheriffs it is in their CUP if there were any calls.

Commissioner Stoner: Also received several emails and had conversations with residents on this topic. Administrator Peters mentioned, according to the CUP, amplified music is not allowed for tavern or any business with a liquor license, especially in a residential area. Even if the music is only one or two people, it is still amplified with a speaker and live.

Commissioner Gardinier: Questioned the amplified portion. I try to put myself on both sides – is there a way we can satisfy both sides? Is there a way to not have it in the CUP and make it a Special Events Permit?

Amended motion to deny amendment to conditional use permit to allow for amplified music at J&M's Bar and Grill. Moved by Commissioner Boxx. Seconded by Aiello.

Roll Call: Gardinier – deny, Boxx – deny, Aiello – deny, Stoner – deny, Fredrick – deny, Lee – deny, Grimes – deny.

Motion passed 7-0 vote.

7. **Rezone:**

Public Hearing and Action on Request by: Carol F Grohs Trust & Delmar R and Jeanne V Golbricht Trust, 10812 Burlington Rd, Kenosha WI 53144; Deborah K Kahana & John P Parmentier, 10610 Burlington Rd, Kenosha WI 53144-7448; Michael C Sarauer, 10524 Burlington Rd, Kenosha WI 53144 (owners), Joe Podge, Stream Realty, 226 N. Morgan St., Suite 500, Chicago, IL 60607 (Agent), requests a rezoning from A-1 Agricultural Preservation Dist., A-2 General Agricultural Dist., R-2 Suburban Single-Family Residential Dist. & R-3 Urban Single-Family Residential Dist. to BP-1 Business Park Dist. & PUD Planned Unit Development Overlay Dist., on Tax Parcel #s 82-4-222-194-0101, 82-4-222-301-0050, 82-4-222-301-0040 & 82-4-222-301-0030, located in the SE ¼ of Section 19 and the NE ¼ of Section 30, T2N, R22E, Village of Somers. *(For information purposes only, this property is located at 10610 Burlington Road, 10812 Burlington Road, and 10524 Burlington Road.*

Public Hearing opened at 6:04 p.m.

Public Comment:

Gregg Sinnen, 3190 100th Ave.

I spoke on similar projects and this development is getting closer and closer to residential areas. Please be vigilant on the noise, lights, etc. I just ask that all boxes be checked and would like to thank the developers for the neighborhood invitation for the special meeting they had. It shows much caring, and we appreciate you listening to our input.

Stream Realty, Patrick Russo, Market Leader in Chicago for the Midwest

The meeting was equally informational for us and we want to hear from the community and be a part of it. Stream has been around for 25 years and have 32 million feet on our pipeline and want to build a great product for the community.

Public Hearing closed at 6:10 p.m.

Commissioner Boxx made the motion to approve rezoning from A-1 Agricultural Preservation Dist., A-2 General Agricultural Dist., R-2 Suburban Single-Family Residential Dist. & R-3 Urban Single-Family Residential Dist. to BP-1 Business Park Dist. & PUD Planned Unit Development Overlay District. Seconded by Fredrick.

Commissioner's Discussion:

None

Motion passed 7-0 vote.

8. Site Plan & Exterior Fenestration Reviews:

Action on Request by: Carol F Grohs Trust & Delmar R and Jeanne V Golbricht Trust, 10812 Burlington Rd, Kenosha WI 53144; Deborah K Kahana & John P Parmentier, 10610 Burlington Rd, Kenosha WI 53144-7448; Michael C Sarauer, 10524 Burlington Rd, Kenosha WI 53144 (owners), Joe Podge, Stream Realty, 226 N. Morgan St., Suite 500, Chicago, IL 60607 (Agent), requests approval of site plan and exterior fenestration on Tax Parcel #s 82-4-222-194-0101, 82-4-222-301-0050, 82-4-222-301-0040 & 82-4-222-301-0030, located in the SE ¼ of Section 19 and the NE ¼ of Section 30, T2N, R22E, Village of Somers.

Commissioner Boxx moved to approve site plan and exterior fenestration. Seconded by Aiello.

Commissioner's Discussion:

There were several discussions on stormwater, storm-sewer, runoff, etc. Adam Artz with Pinnacle Engineering gave detailed explanations and information. He also addressed concern with the Des Plaines river and if it could ever be "tapped out".

Discussions on access points and concerns with Kenosha County's new Access Plan. Commissioner Lee had concerns for safety, if the Village has the capacity to service all the developments with their equipment and staff. Administrator Peters and Chairman Stoner mentioned they have had several meetings with the County about the access points and rules.

Motion passed 7-0 vote.

9. Adjourn

Commissioner Boxx moved to adjourn at 6:50 p.m. Seconded by Aiello.

Motion carried. 7-0 vote.

Drafted this 13th day of July 2022. These minutes are not official until approved by the Plan Commission. Submitted by Cassandra Bodenbach, Assistant to the Village Administrator



COUNTY OF KENOSHA

Division of Planning & Development

Andy M. Buehler, Director
Division of Planning & Development
19600 75th Street, Suite 185-3
Bristol, WI 53104-9772
(262) 857-1895

TO: Village of Somers Plan Commission
FROM: Luke Godshall, Kenosha County Planning & Development
RPT DATE: 07-22-22
MTG DATE: 08-08-22
APPLN DATE: 06-22-22

BACKGROUND:

1. Petitioner/Agent: Ted Gement, BP Kenosha Travel Plaza
 2. Property Owner: Somers USA, LLC
 3. Location/Address: 1170 22nd Ave.
 4. Tax key Number(s): 82-4-222-193-0202
 5. Area: 15.12 acres
 6. Existing Zoning: B-3 Highway Business District
 7. Proposed Zoning: no change proposed
-

OVERVIEW:

The Petitioner wishes to amend a previously approved Conditional Use Permit which included a condition that prohibited alcohol consumption anywhere on the premises, to allow a portion of the existing building interior to be remodeled for a bar/lounge area.

PLANNER COMMENTS:

The submitted application is intended to amend a Conditional Use Permit (CUP) that was approved by Kenosha County in 2009 to allow an outdoor dining area on the property. That CUP contained a condition (condition #4e.) which noted that “absolutely no alcohol consumption (of carry-ins or on-site package purchase) is permitted on the premises”. This note on the Kenosha County CUP was meant to reinforce the Town of Somers Town Board approval motion which contained 7 conditions, with condition #7 stating “No alcohol consumption on premises”.

The subject property is zoned B-3 Highway Business District, which allows bars/taverns and wine taps as a principal use.

The submitted CUP application dated June 22, 2022 includes a floor plan detailing the area to be remodeled into the proposed interior bar/lounge space, located within the northwestern corner of the existing building. The proposed bar/lounge is shown to be a total of 854 sq. ft. in area. with seating for 32 people, located entirely inside the existing building. There are no outside dining or entertainment areas proposed in conjunction with the proposed bar/lounge. The bar/lounge area would be staffed by 2 employees, as indicated in the submitted CUP application.



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A review of existing onsite parking spaces shows there to be 106 parking spaces. The proposed 854 sq. ft. bar/lounge area would require 10 parking spaces. The remainder of the building (gas station/store and restaurant uses) would require 94 parking spaces, bringing the total to 104 spaces needed. Existing parking is enough to accommodate the proposed and existing uses.

STAFF RECOMMENDATION:

Should the Plan Commission choose to recommend approval of this application, staff would recommend the following conditions:

1. Subject to the information and site plan contained in the submitted conditional use permit application dated June 22, 2022.
2. Subject to receiving approval of any required licenses/permits from the Village of Somers regarding the sale & consumption of alcohol on premises.
3. All other conditions contained in previously approved Conditional Use Permits for the property shall remain in effect.
4. Subject to Kenosha County zoning permit(s) being issued for any proposed structures including signage, new principal buildings or additions thereto, fences, accessory buildings, etc.
5. Subject to issuance of a revised Kenosha County Certificate of Compliance prior to opening of the bar/lounge to the public.
6. It is the responsibility of the applicant to assure and guarantee that the above conditions are fully complied with. This includes, but is not necessarily limited to, meeting conditions established herein, providing any applicable letters of credit, providing and following approved plans, obtaining permits prior to construction, making improvements, participating in coordination meetings with governmental officials, following established time frames, meeting deadlines, and providing additional information where deemed necessary. Any unauthorized deviation from the approved plans and conditions shall result in the issuance of a citation and/or applicable stop work order by the Village of Somers or other applicable agencies until the conditional use permit is brought back into compliance. Continued violation of the conditions as set forth herein shall result in a recommendation for revocation of the Conditional Use Permit.
7. Any substantial change or expansion of the submitted plan of operation shall require the applicant to re-apply for a Conditional Use Permit to the Village of Somers for its review and approval.
8. If property ownership and/or tenant shall happen to change it shall be the responsibility of the person(s) that signed these conditions to notify the new owner and/or tenant of all above stated conditions of approval.
9. It is the total responsibility of the petitioner to assure and guarantee that the above stated conditions are fully complied with. Any deviation from the approved plans and conditions shall result in the issuance of a citation and associated stop work order until the project is brought back into compliance. Continuance of the project shall result in a recommendation for revocation of the Conditional Use Permit.

Attachment:

- Kenosha County Conditional Use Permit (approved Sept. 9, 2009) & Town of Somers Town Board meeting minutes (dated Aug. 11, 2009).

2. Somers USA LLC, 1840 Beloit Avenue, Janesville, WI 53546 (Owner) requesting an amendment to a Conditional Use Permit (approved March 12, 2006) to allow outdoor dining in the B-3 Highway Business District on Tax Parcel #80-4-222-193-0202 located in the southwest quarter of Section 19, Township 2 North, Range 22 East, Town of Somers. For informational purposes only, this property is located on the northwest corner of the intersection of 120th Avenue (the east frontage road of I-94) and County Trunk Highway "S".

July 15, 2009	DATE FILED
September 9, 2009	DATE OF HEARING
August 27 and September 1, 2009	DATES PUBLISHED
August 26, 2009	DATE NOTICES MAILED
\$750.00	FEE PAID
N/A	DATE SENT TO COUNTY BOARD
Somers	TOWNSHIP
September 9, 2009 – Approved	PLANNING & ZONING COMM. ACTION
N/A	COUNTY BOARD ACTION
N/A	COUNTY EXECUTIVE ACTION
September 11, 2009	DATE TOWN CLERK NOTIFIED
September 11, 2009	DATE PETITIONER NOTIFIED



COUNTY OF KENOSHA

Department of Planning and Development

George E. Melcher, Director

19600 – 75th Street, Post Office Box 520

Bristol, WI 53104-0520

Telephone: (262) 857-1895

Facsimile: (262) 857-1920

September 11, 2009

Somers USA, LLC
1840 Beloit Avenue
Janesville WI 53546

Dear Mr. Gement:

On Wednesday, September 9, 2009, the Land Use Committee of the Kenosha County Board of Supervisors approved your request for an amendment to a Conditional Use Permit (approved March 12, 2006) to allow outdoor dining in the B-3 Highway Business District on Tax Parcel #80-4-222-193-0202, located in the Town of Somers.

Your request is approved, subject to the conditions as signed by you at the meeting. A copy of these conditions is enclosed, and it is your responsibility to see that they are complied with.

Should you have any questions or comments, please feel free to contact Mr. John F. Roth of this office.

Sincerely,

GEORGE E. MELCHER, Director
Planning and Development

GEM:JFR:aa
Enclosure
cc: Somers Town Clerk



COUNTY OF KENOSHA

Department of Planning and Development

George E. Melcher, Director

19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520
Telephone: (262) 857-1895
Facsimile: (262) 857-1920

CONDITIONS OF APPROVAL

SOMERS USA LLC (OWNER), TED GEMENT (AGENT),
REQUESTING AN AMENDMENT TO A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT
TO ALLOW OUTDOOR DINING
IN THE B-3 HIGHWAY BUSINESS DISTRICT
TAX PARCEL #80-4-222-193-0202
SOUTHWEST QUARTER OF SECTION 19
TOWN OF SOMERS

1. All other conditions of approval (Exhibit A, attached) remain in effect.
2. Subject to the application stamped received by the office of Planning and Development on July 15, 2009 and all corresponding plans and attachments.
3. Subject to that approved by the Town of Somers Town Board on August 11, 2009 (Exhibit B, attached).
4. Subject to the conditions present in the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance Section 12.29-8(b)106(a) a thru e; Restaurants with outdoor dining in the B-3 District (shown below):
 - a. A site plan shall be submitted showing all proposed outdoor use areas including parking, landscaping and the location of existing structures.
 - b. Hours of use may be limited to prevent disturbance to abutting property owners.

Note: Use of the approved outdoor dining area is approved for the following hours:
5 AM - 10 PM (Sunday through Thursday)
7 AM - 11 PM (Friday through Saturday)

- c. Lighting may be limited to prevent disturbance to abutting property owners.

Note: No outside lighting other than that lighting previously approved for the premises shall be incorporated into the site.
- d. There shall be no outside music speakers or live music.
- e. Any approval granted must be in conformance with the restrictions of the liquor license issued for the establishment.

Note: Absolutely no alcohol consumption (of carry-ins or on-site package purchase) is permitted on the premises.

5. Any change of the submitted plan of operation, change in use, and/or proposed addition(s) to any existing principal building(s), or proposed new principal building(s) shall require the petitioner to reapply for a Conditional Use Permit to the Kenosha County Land Use Committee for its review and approval.

- 6. It is the total responsibility of the petitioner to assure and guarantee that the above stated conditions are fully complied with. Any deviation from the approved plans and conditions shall result in the issuance of a citation and associated stop work order until such time as the project is brought back into compliance. Continuance of the project shall result in a recommendation for revocation of the Conditional Use Permit.
- 7. If property ownership shall happen to change then it is the responsibility of the person(s) that signed these conditions to notify new owner of all above stated conditions of approval. Any changes or deviations from the above referenced approved plans will require additional review and approval and will be subject to additional fees by Planning and Development.

I have read and understand the above conditions and hereby agree that I am willing to comply with them.

PRINT NAME: Y TED GEMENT DATE: 9-9-09

SIGNATURE: *Ted Gement*

PRINT NAME: _____ DATE: _____

SIGNATURE: _____

- EXHIBIT "B"

TOWN OF SOMERS
DRAFT MINUTES of the REGULAR MEETING
August 11, 2009

The Regular Meeting of the Somers Town Board was called to order at 7 p.m. by Chairman James Smith.

Present: Chairman James Smith, Supervisors Fred Loomis, Vern Wienke, Ben Harbach & Al Ferber. Also present: Administrator William Morris, Attorney Jeff Davison & Clerk-Treasurer Timothy Kitzman.

All stood for the Pledge of Allegiance.

Minutes & Vouchers

Motion by Sup. Ferber to approve Minutes of Work Sessions on July 9 & 21, 2009, Town Board meeting on July 28, 2009; Building Report, Financial Reports & Vouchers for payment, seconded by Sup. Wienke. Motion carried 5-0.

Correspondence

Chairman Smith placed the following correspondence on file:

- a) WI Department of Revenue re Notice of July 27 State Aid Payments
- b) KABA Legislative Breakfast on August 21
- c) KABA Reception on August 26 for UW-Parkside Chancellor Dr. Deborah Ford

Citizen's Comments

Supervisor's Comments

The Board took up item #12.

Authorize SOARR (Supporting Opportunities in Advancing Renewable Resources) Project at Fire Station #2

Motion by Sup. Wienke to accept SOARR project at Fire Station #2 subject to review and acceptance of documents by Town Attorney before execution, second by Sup. Harbach. Motion carried 5-0.

Review Plan Commission Recommendations:

- a) Public hearing and action on request by Town of Somers, P.O. Box 197, Somers, WI (Sponsor), Berwick Properties, Inc. 4011 80th Street, Kenosha, WI (Owner) to rezone from R-9 Multiple Family Residential District to I-1 Institutional District on part of tax parcel #80-4-222-151-0560, located in the northeast quarter of Section 15, Township 2 North, Range 22 East, Town of Somers, Kenosha County, Wisconsin. For informational purposes only, this property is located on the south side of CTH "E" (12th Street) approximately ¼ mile west of STH 31 (Green Bay Road) and just east of the Pike Creek.

Motion by Sup. Loomis to concur with the Plan Commission and approve rezoning, second by Sup. Harbach. Motion carried 5-0.

b) Monument Sign approval for Dejno's, Inc., 5670 Green Bay Road, Kenosha, WI 53144. This property is located on the north side of County Trunk Highway "S" (38th Street) approximately ½ mile east of the intersection of County Trunk Highway "EA" (72nd Avenue).

No action as this item was tabled by the Plan Commission.

c) Public hearing and action on request from Golden Oil-Somers USA LLC, 1840 Beloit Avenue, Janesville WI, (Owner), requesting an amendment to current Conditional Use Permit to allow outdoor dining on Tax Parcel #80-4-222-193-0200 located in the southwest quarter of Section 19, Township 2 North, Range 22 East, Town of Somers, Kenosha County, Wisconsin. For informational purposes only, this property is located on the northeast corner of the intersection of I-94 and CTH "S".

Motion by Sup. Harbach to concur with the Plan Commission and approve amendment to current Conditional Use Permit subject to the following 7 conditions: 1. Dining area to will be enclosed by a wrought-iron fence. 2. 3 to 4 planters on the outside of fence or integrated with fence containing flower or shrubs with a minimum size of 30" in diameter. 3. No outside music. 4. No outside lighting. 5. No backing into parking stalls if front of dining area. 6. 4' access between tables for wheel chair accessibility. 7. No alcohol consumption on premises; second by Sup. Loomis. Motion carried 5-0.

Approve appointment of Barb Willkomm to the Park Commission

Motion by Sup. Ferber to approve appointment of Barb Willkomm to the Park Commission, second by Sup. Harbach. Motion carried 5-0.

Approve Amended Developer's Agreement between Town of Somers and Developer for Willow Creek Condominiums

Motion by Sup. Harbach to approve Amended Developer's Agreement between Town of Somers and Developer for Willow Creek Condominiums, second by Sup. Ferber. Motion carried 5-0.

Action on proposed Resolution No. 09-012 Acceptance of Bradford Corporation/ Somers Market Center Infrastructure

Motion by Sup. Wienke to adopt Resolution No. 09-012 Acceptance of Bradford Corporation/ Somers Market Center Infrastructure, second by Sup. Loomis. Motion carried 5-0.

Action on proposed Resolution No. 09-013 Budget Resolution 2009

Motion by Sup. Harbach to adopt Resolution No. 09-013 Budget Resolution 2009, second by Sup. Wienke. Motion carried 5-0.

Award Bid for Public Works Marshalling Yard Fence

Motion by Sup. Wienke to award bid to American Fence in the amount of \$14,877.00, second by Sup. Harbach. Sup. Wienke & Harbach withdrew their motion. Motion by Sup. Wienke to table for 2 weeks, second by Sup. Harbach. Motion carried 5-0.

Action on Proposed Ordinance No. 09-007 to Repeal & Recreate Section 5.14 of the Code of Ordinances of the Town of Somers Relating to Rescue Squad Fees Established

Motion by Sup. Loomis to waive the first reading, second by Sup. Wienke. Motion carried 5-0. Motion by Sup. Loomis to adopt Ordinance No. 09-007 to Repeal & Recreate Section 5.14 of the Code of Ordinances of the Town of Somers Relating to Rescue Squad Fees Established, second by Sup. Wienke. Motion carried 5-0.

Approve Claims Policy

Motion by Sup. Wienke to approve Claims Policy, second by Sup. Loomis. Motion carried 5-0.

Approval of Temporary "Class B" Fermented Malt Beverage & Wine licenses for Hawthorn Hollow Nature Sanctuary, 880 Green Bay Road, on August 14 & September 5, 2009 and waiver of fees

Motion by Sup. Harbach to grant Temporary Class B Fermented Malt Beverage & Wine Licenses to Hawthorn Hollow Nature Sanctuary, 880 Green Bay Road, on August 14 & September 5, 2009 and waive the fees, second by Sup. Ferber. Motion carried 4-1 with Chairman Smith voting nay.

Public Hearing & Action on Original "Class B" Combination Fermented Malt Beverage & Liquor License application for Lakeside Lounge, 1091 Sheridan Road, Kenosha, WI 53144, Samira Gonzales, Agent

Motion by Sup. Loomis to deny based the following 5 reasons:

Approval of Operator licenses: Amanda J. Fellows, Stephanie A. Koser, Benjamin Michaelis, Justin D. Traughber. Temporary: Joe Fonk

Motion by Sup. Loomis to grant operators licenses to Amanda J. Fellows, Stephanie A. Koser, Benjamin Michaelis, Justin D. Traughber, and a Temporary license to Joe Fonk, second by Sup. Harbach. Motion carried 5-0.

Adjournment

There being no further business, the meeting was adjourned at 7:58 p.m.

Submitted by
Timothy Kitzman, Clerk-Treasurer

These minutes are not official until approved by the Town Board



May 2015

VILLAGE OF SOMERS

Department of Planning & Development

RECEIVED

JUN 22 2022

Kenosha County
Planning and Development

CONDITIONAL USE PERMIT APPLICATION

(a) Property Owner's Name:

Parveen Bhardwaj

Print Name: Parveen Bhardwaj

Signature: 

Mailing Address: 1170 22nd Ave

City: Kenosha

State: WI

Zip: 53140

Phone Number: 262-425-1675

E-mail (optional): paul@goldenoilcompany.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Ted Gement

Signature: 

Business Name: BP Kenosha Travel Plaza

Mailing Address: 1170 22nd Ave

City: Kenosha

State: WI

Zip: 53140

Phone Number: 262-554-1085

E-mail (optional): ted@goldenoilcompany.com

(c) Architect's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

E-mail (optional): _____

(d) Engineer's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

E-mail (optional): _____

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

82-4-222-193-0202

Address of the subject site:

11800 Burlington Road, Kenosha, WI. 53144

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

Brick Building

Proposed operation or use of the structure or site:

Lounge for food and drink consumption. No food will be made in this area. It will be made in the kitchens in other areas of the store and delivered back to the lounge. Limited selection of liquor and beer as well as limited hours

Number of employees (by shift): 2

Hours of Operation: TBD

Any outdoor entertainment? If so, please explain: no

Any outdoor storage? If so, please explain: no

Zoning district of the property: B-3

(g) Attach a plat of survey prepared by a professional land surveyor or site plan drawn to scale and approved by the Kenosha County Department of Planning & Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, existing and proposed gravel, asphalt and concrete surfaces, existing and proposed signage, existing and proposed buildings, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

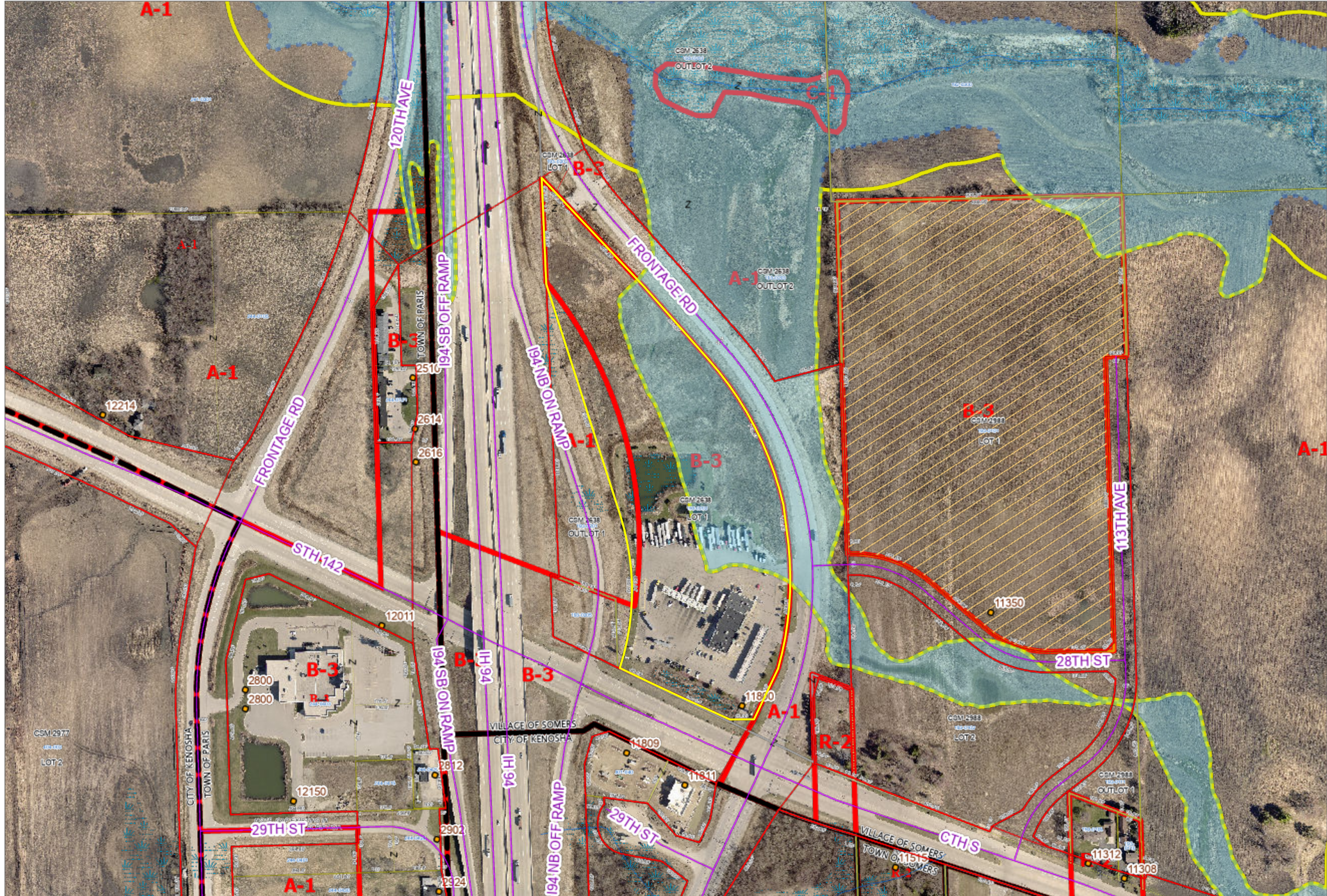
For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the Village Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or professional surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Village of Somers Planning & Development office, Village Plan Commission or Village Board:

(h) The Kenosha County Department of Planning & Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit (payable to "Kenosha County") \$1,350.00

(For other fees see the Fee Schedule)



1 Inch = 300 Feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies or omissions contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 6/22/2022



PROPOSED REMODEL FOR -- KENOSHA TRAVEL PLAZA

SOMERS

WISCONSIN

SHEET INDEX

SHEET	SHEET TITLE
A1.0	FLOOR PLAN, INDEX, TITLE

PROJECT INFORMATION

APPLICABLE BUILDING CODE

- 2015 INTERNATIONAL BUILDING CODE (W/VI AMENDMENTS)
- 2015 IBC EXISTING BUILDING CODE

WORK AREA

CHANGE OF USE	
PROPOSED REMODEL	854 SF
NET AREA	703 SF
OCCUPANT LOAD @15SF	47 OCC

NEW OCCUPANCY

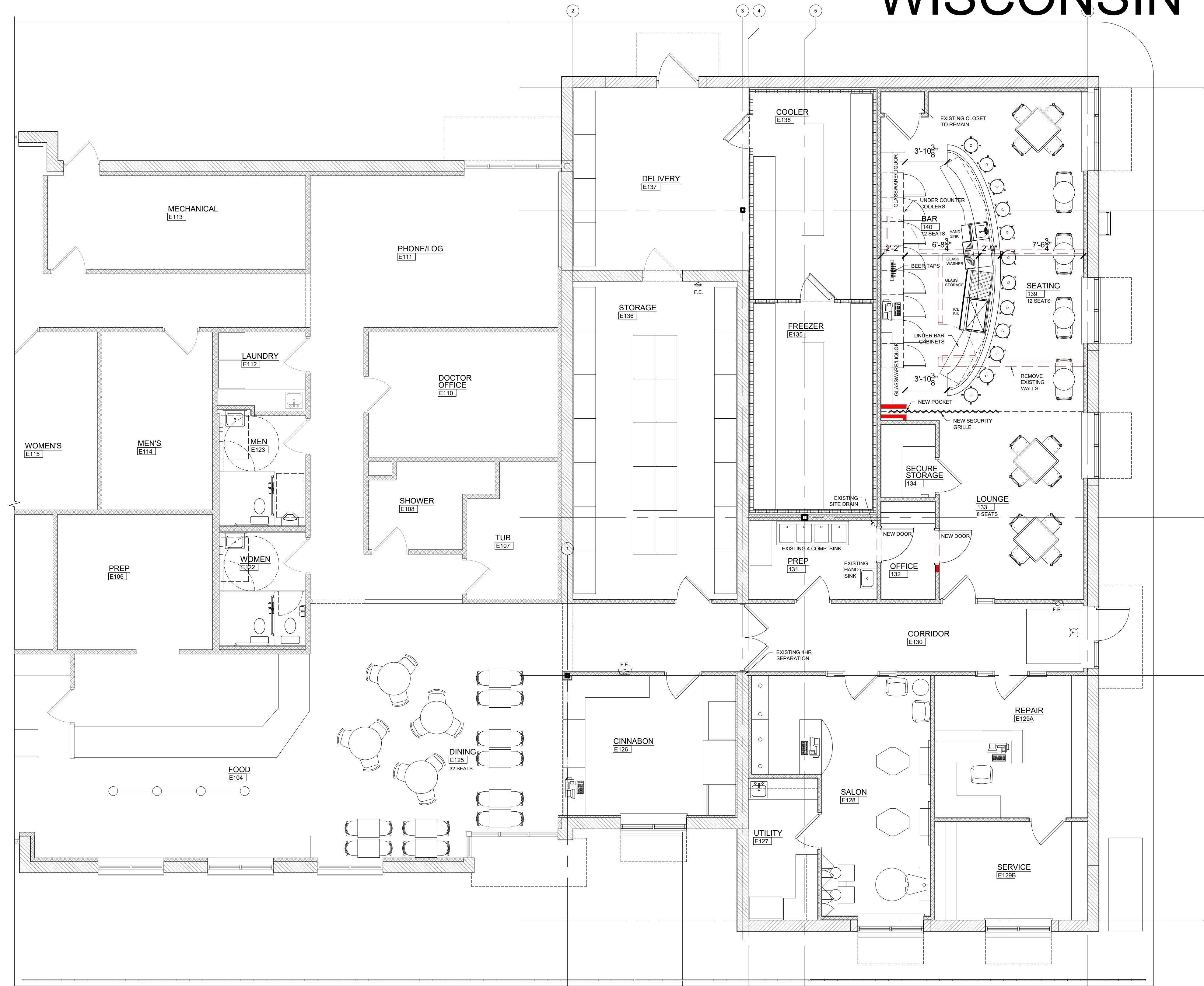
TAVERN/BAR - PER IBC 303.1 (1) LESS THAN 50 OCC IS B-OCCUPANCY

CONSTRUCTION CLASSIFICATION

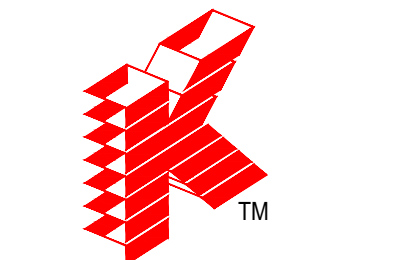
TYPE 3B CONSTRUCTION
NON-SPRINKLED
FIREWALL SEPARATION

EXITING

IBC 1015.1 ALLOWS ONE EXIT



PLANNERS | ARCHITECTS | BUILDERS



Keller

PLANNERS ARCHITECTS BUILD

FOX CITIES
N216 State Road 55
P.O. Box 823
Kaukauna, WI 54130
Phone (920)786-5795
1-800-236-2534
Fax (920)786-5004

MILWAUKEE
W204 N11509
Caldendale Rd
Germanstown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

MADISON
3308 Nursery Drive
Madison, WI 53762
Phone (608)445-2245

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

www.kellerbuilds.com

PROPOSED REMODEL FOR:

KENOSHA TRAVEL PLAZA

WISCONSIN

SOMERS

"COPYRIGHT NOTICE"
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REVISIONS

△	

PROJECT MANAGER:

D.UTTECH

DESIGNER:

R.LINDSTROM

DRAWN BY:

RGL

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

02 APRIL 2022

SHEET:

A1.0



COUNTY OF KENOSHA

Division of Planning & Development

Andy M. Buehler, Director
Division of Planning & Development
19600 75th Street, Suite 185-3
Bristol, WI 53104-9772
(262) 857-1895

TO: Village of Somers Plan Commission
FROM: Luke Godshall, Kenosha County Planning & Development
RPT DATE: 07-22-22
MTG DATE: 08-08-22
APPLN DATE: 06-23-22
RE: Mister Car Wash

BACKGROUND:

1. Petitioner/Agent: Emma Skidmore, Project Manager – CWP West Corp., A Delaware Corporation
2. Property Owner: RCG-Somers, LLC
3. Location/Address: Lot 2 of CSM #3015 (fka Lot 15 in Somers Market Center).
4. Tax key Number(s): 82-4-222-271-0339
5. Area: 2.10 acres
6. Existing Zoning: B-4 Planned Business Dist. w/ PUD Planned Unit Development Overlay Dist.
7. Proposed Zoning: no change proposed

OVERVIEW:

The Petitioner proposes to develop tax parcel #82-4-222-271-0339 in Somers Market Center with an approximately 5,460 sq. ft. Mister Car Wash single-bay automatic car wash building with 22 exterior vacuum stalls. This request requires site plan and building exterior/fenestration approval from the Village Board. For reference, the parcel is situated between Popeyes to the west and the recently approved Chipotle to the east.

PLANNER COMMENTS:

The Petitioner has submitted plans of the proposed building which include building size, layout, dimensions, and proposed materials and finishes. The building is proposed to be a maximum height of 30 feet, which falls well below the zoning district maximum of 60'. The building exterior is shown to be comprised of a variety of finishes and materials which are detailed on the submitted plans.

Minimal wall signage is depicted on the east and west building elevations, as well as above the wash bay doors on the north and south elevations. Wall signage as depicted appears to fall within zoning ordinance requirements.

The submitted site plan indicates that the proposed building and parking areas meet all minimum setback requirements.

The submitted site plan provides for 3 parking spaces for employees, and 22 customer vacuum stalls. 1 space per wash bay is required by ordinance, so the submitted parking plan is compliant.

Village of Somers zoning ordinance also requires that automatic car washes provide for vehicle stacking of at least 5 spaces before each wash bay, and at least 2 spaces after each bay. Per the submitted Vehicle Stacking Exhibit, vehicles will be able to line up using three separate lanes leading up to the Point of Sale (P.O.S) canopy and payment terminals. From there, vehicles will merge into a single lane prior to entering the wash. The site provides for a total of 39 spaces before the wash bay and 5 spaces after the wash bay.

The site contains two (2) existing access points onto Market Lane which connect to a previously created cross-access easement that connects the Popeyes site immediately to the west and the Chipotle & Taco Bell multi-tenant sites to the east.

The submitted landscape plan (labelled as “Restoration and Planting Plan” – Sheet C5-10 of the submitted materials) provides for a diverse mixture of deciduous & evergreen trees, shrubs, and ornamental grasses. Overall, the plan generally meets minimum landscaping criteria contained in the zoning ordinance. The one area that appears deficient on the landscaping plan is along the CTH S frontage along the southern portion of the site which is only shown to be grassed (aside from 4 trees at the extreme southwestern portion of the site). Section [ZN 3.19\(7\)\(b\)](#) requires street frontage landscaping to provide at least one evergreen or deciduous tree per 50 feet of street frontage (two ornamental trees may be used to equal one evergreen or deciduous tree), and shrubs may not be used to meet the requirement. The property contains 333.57’ of frontage along CTH S, so there should be at least 7 evergreen or deciduous trees (or 14 ornamental trees or equivalent combination) located along the frontage adjacent to CTH S. A revised landscape plan should be submitted for review and approval.

A photometric plan, prepared by a.23 studios and dated 06/29/2022, indicates compliance with the Village ordinance standard of light intensity not exceeding 0.5 foot-candles at property lines. The proposed lighting fixtures indicated on the photometric plan are shown to be full cut-off type fixtures and comply with Village zoning ordinance.

The project submittal does not include details of where ground signage might be located. It should be noted that any ground sign on this site would be limited to 10’ in height, commensurate with other ground signs that have been approved for other developments within Somers Market Center.

This project will require approval from the City of Kenosha for an Airport Site Plan review, as the property is located within one the City’s air zones.

Planning & Development will issue zoning permits for the project only after the Petitioner has executed a Developer’s Agreement with the Village and has met any other of the Village’s requirements for the development.

STAFF RECOMMENDATION:

Should the Plan Commission choose to recommend approval of this project, staff would recommend the following conditions:

1. Subject to submitting a revised landscaping plan to address lack of trees along CTH S street frontage.
2. Subject to all lighting fixtures being full cut-off type fixtures.
3. Subject to final review and approval by the Village of Somers engineer.
4. Subject to approval of an Airport Site Plan Review by the City of Kenosha.
5. Subject to approval by the Somers Fire & Rescue Department.
6. Subject to a Kenosha County zoning permit being issued for any proposed structures including principal buildings, signage, fences, accessory buildings, etc.
7. Subject to implementation of a Developer’s Agreement between the Petitioner and the Village of Somers.

Letter of Transmittal



Date: 6-23-2022

ISG Project Number: 26725

Attention: Luke Godshall

To: Kenosha County Public Works and Development Services

Division of Planning and Development

19600 75th Street, Suite 185-3

Bristol, WI 53104

RE: MCW Market Lane – Somers WI

We are sending you: Attached Under separate cover

The following: Shop Drawings Prints Plans Samples
 Specifications Copy of Letter Change Order Other:

COPIES	DATE	DESCRIPTION
10	6-23-2022	11 x 17 Site Plan Sets
10	6-23-2022	11 x 17 Building Elevation Plans
2	6-23-2022	Village of Somers Site Plan Review Checklist
1	6-23-2022	Site Plan Review Fee for Village of Somers (check #68530)

Remarks:

VILLAGE OF SOMERS

Department of Planning and Development

VILLAGE OF SOMERS SITE PLAN REVIEW PROCEDURES

1. Contact the Kenosha County Department of Planning & Development and check with staff to determine if your proposed zoning change meets the requirements of the Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035, Village of Somers General Zoning and Shoreland/Floodplain Zoning Ordinance and the Village of Somers Land Division and Platting Control Ordinance.

2. Contact the Kenosha County Department of Planning & Development and schedule a pre-conference meeting, which is required for all site plan review requests.

Meeting Date: May 12, 2022

3. Contact the Village of Somers to determine if your site plan review application requires concept review by the Village Plan Commission. If so, contact the Village of Somers clerk to schedule a concept meeting with the Village Plan Commission.

Meeting Date: N/A

4. Complete and submit to the Kenosha County Department of Planning & Development the Village of Somers Site Plan Review Application by the filing deadline.

Filing Deadline: June 23, 2022

5. Upon submission you will be given two copies of the date-stamped application. Submit a copy of the date-stamped application to the Village of Somers clerk for placement on the agendas of the Village of Somers Plan Commission and the Village of Somers Board. Keep the other copy for your records.

7. Attend the Village Plan Commission and the Village Board meetings. **NOTE:** You must attend or the Village will not be able to act on your request. At these meetings you will be asked to brief the committee on your request.

Village Plan Commission meeting date (tentative): August 8, 2022

Village Board meeting date (tentative): August 23, 2022

8. Village clerk will provide written notice of final action to property owner/applicant.

SITE PLAN REVIEW
CHECKLIST

Owner: CWP West Corp., A Delaware Corporation Date 6-21-2022

Mailing Address: Emma Skidmore - Project Manager Phone # 520-428-6543

222 E. 5th Street, Tucson, AZ 85705 Phone # _____

Agent: Jeana Kedrowski - ISG Inc Phone # 952-426-0699

Mailing Address: 7900 International Drive, Ste 550 Bloomington, MN 55425 Phone # _____

Architect/Engineer: Amanda Thomas (Civil Engineer) - ISG Inc Phone # 952-426-0699

Mailing Address: 7900 International Drive, Ste 550 Bloomington, MN 55425 Phone # _____

Tax Parcel Number(s): 82-4-222-271-0337 Acreage of Project: 3.21

Existing Zoning: B-4 Proposed Zoning: B-4

Conditional Use Permit: N/A

Description of Project: (include the following when applicable):

Description of project: New Build of a Car Wash

Size of existing building(s): N/A

Size of new building(s) and/or addition(s): _____

Number of current and projected full-time and part-time employees, number of shifts: _____

To Be Determined

Number of proposed units: N/A Description of units: N/A

Density: _____

Plat of Survey Submitted:

Covenants and Restrictions Submitted

A. BUILDING PLANS SUBMITTED? (BUILDING APPEARANCE)

- No building shall be permitted the design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- No building shall be permitted the design or exterior appearance of which is so identical with those adjoining as to create excessive monotony or drabness.
- No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.
- Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- Building Rooflines and Roof Shapes. The visual continuity of roofs and their contributing elements (parapet walls, coping, and cornices) shall be maintained in building development and redevelopment.
- Since the selection of building colors has a significant impact upon the public and neighboring properties, color shall be selected in general harmony with existing neighborhood buildings.
- No building or sign shall be permitted to be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in that area, or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
- The facade of all buildings which face upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing an existing or future street shall be finished with a combination of brick, decorative masonry material, decorative pre-cast concrete panels, decorative glass panels, wood, or decorative metal or vinyl siding. Such finished material shall extend for a distance of at least 10 feet along the sides of the structure. All buildings on corner lots shall have the required finished facade facing each street.

B. SITE PLAN SUBMITTED?

- Building locations shall maintain required setbacks from property lines and road rights-of-way.
- Buildings and uses shall provide for safe traffic circulation and safe driveway locations.
- Buildings and uses shall be provided with adequate public services as approved by the appropriate utility.

**SITE PLAN REVIEW
CHECKLIST**

- Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead doors shall face upon a street right-of-way without approval of the zoning administrator.
- Parking areas shall maintain required setbacks and parking spaces shall be of minimum required size (10' x 20'). Aisle widths within parking lots shall be a minimum of 24' between the ends of the parking spaces.
- Each parking space shall be on the same lot or parcel as the principal use, and all parking lots shall have the same zoning district as the principal use. Parking spaces and driveways shall be a minimum of 20 feet from the established highway right-of-way and a minimum of 10 feet from all rear and side lot lines. Curbs or barriers shall be installed so as to prevent vehicles from extending beyond designated parking or driving areas.
- Parking areas for five or more vehicles adjoining a residential use, shall be screened from such use by a solid wall, fence, evergreen planting of equivalent visual density or other effective means, and built and maintained at a minimum height of four feet at the time of planting or installation.
- Adequate access to a public or private roadway shall be provided for each parking space. For all non-residential properties, driveways for vehicular ingress and egress shall be a minimum of 10 feet in width and not exceed 35 feet in width at the property line.
- All off-street parking of more than five vehicles shall be graded and surfaced with asphalt or concrete.

C. LANDSCAPING AND LIGHTING PLAN SUBMITTED?

- Buildings and uses shall make appropriate use of open spaces. The zoning administrator or Village Board may require appropriate landscaping and planting screens. A landscaping maintenance program, together with appropriate assurances, shall be submitted.
- Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
- Exterior lighting used for parking lots, recreation facilities, product display, and security shall not spill-over on operators of motor vehicles, pedestrians, and/or adjacent residential property (cut-off type luminaries only).

Appropriate buffers shall be provided between dissimilar uses.

D. SEWER VERIFICATION/SANITATION EVALUATION OR APPLICATION SUBMITTED?

E. UTILITY PLANS SUBMITTED?

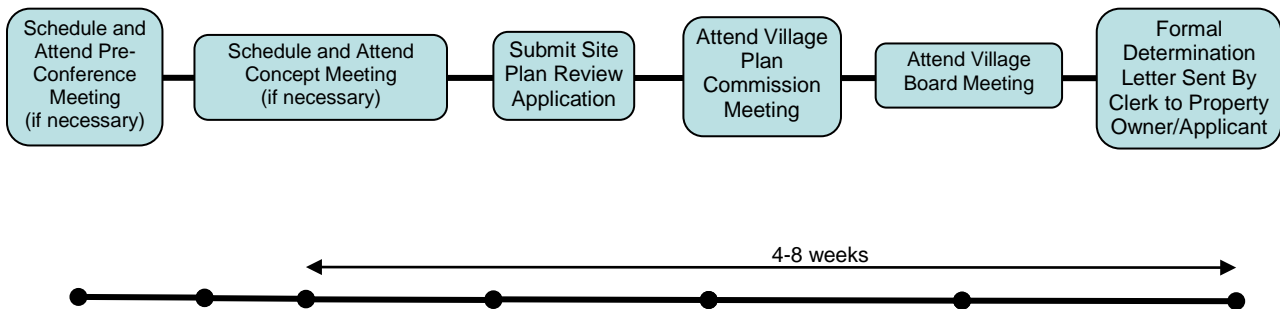
F. STORMWATER DRAINAGE AND EROSION CONTROL PLAN SUBMITTED?

- Appropriate erosion control and stormwater management measures shall be utilized in all new development. Buildings and uses shall maintain existing topography, drainage patterns, and vegetative cover insofar as is practical. The zoning administrator or Village Board may require that drainage easements be executed.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center	
Department of Planning & Development	
19600 - 75 th Street, Post Office, Suite 185-3	
Bristol, Wisconsin 53104-9772	
Division of County Development (including Sanitation & Land Conservation).....	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways	857-1870
Administration Building	
Division of Land Information.....	653-2622
Village of Somers	859-2822
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Site Plan Review Procedure Timeline



For Reference Purposes



PROJECT ADDRESS / LOCATION:

**1481 MARKET LANE
SOMERS, WI 53144**

S 27 T 2N R 22E

**SOMERS TWP
KENOSHA COUNTY
SOMERS, WISCONSIN**

ZONING SUMMARY

ZONING:	B-4-PLANNED BUSINESS DISTRICT
SITE/LOT AREA:	91597.3 SQ. FT / 2.103 AC.
IMPERVIOUS AREA:	50491.2 SQ. FT / 1.159 AC.
GREENSPACE PROVIDED:	41106.1 SQ. FT / .944 AC.

SIGN REQUIREMENTS

MAXIMUM HEIGHT:	35'-0"
SETBACK:	15'
TOTAL WALL SIGN AREA:	36 SQ. FT
WALL SIGN LETTER HEIGHT:	8"

PARKING REQUIREMENTS

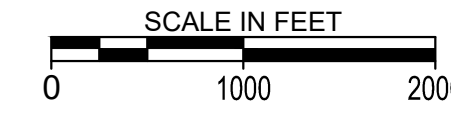
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
13'x20'	7/WASH BAY	8	25
TOTAL:		8	25

SETBACKS

	PARKING	BUILDING	PROVIDED BUILDING
FRONT YARD	20'	65'	65'
SIDE YARD	10'	-	-
REAR YARD	30'	25'	25'



LOCATION MAP



PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "WISCONSIN STATE ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-242-8511).

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATIONS, THE CITY OF SOMERS REQUIREMENTS, THE WISDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2022 EDITION, AND CURRENT VERSION OF THE PLUMBING CODE OF WISCONSIN UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ON THE WISCONSIN PLANE COORDINATE SYSTEM, SOUTH ZONE, (NAD 1927) THE NORTHERLY LINE OF CSM NO. 2971, MEASURED AS BEARING N85°45'01"E

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN MAY 2022 BY VIERBICHER

MISTER CARWASH SOMERS



LEGEND

EXISTING		PROPOSED	
--- --- --- ---	CITY LIMITS	---	LOT LINE
---	SECTION LINE	---	RIGHT OF WAY
---	QUARTER SECTION LINE	---	EASEMENT
---	RIGHT OF WAY LINE	---	CULVERT
---	PROPERTY / LOTLINE	---	STORM SEWER
---	EASEMENT LINE	---	STORM SEWER (PIPE WIDTH)
---	ACCESS CONTROL	---	SANITARY SEWER
---	WATER EDGE	---	SANITARY SEWER (PIPE WIDTH)
---	WETLAND BOUNDARY	---	WATER
---	WETLAND / MARSH	---	GAS
---	FENCE LINE	---	OVERHEAD ELECTRIC
---	CULVERT	---	UNDERGROUND ELECTRIC
---	STORM SEWER	---	UNDERGROUND TV
---	SANITARY SEWER	---	CONTOUR
---	SANITARY SEWER FORCEMAIN	---	MANHOLE
---	WATER	---	CATCH BASIN
---	GAS	---	HYDRANT
---	OVERHEAD ELECTRIC	---	VALVE
---	UNDERGROUND ELECTRIC	---	UTILITY PEDESTAL / CABINET
---	UT	---	UNDERGROUND TELEPHONE
---	UTV	---	UNDERGROUND TV
---	OHL	---	OVERHEAD UTILITY
---	UTL	---	UNDERGROUND UTILITY
---	FBO	---	UNDERGROUND FIBER OPTIC
---	990	---	CONTOUR (MAJOR)
---	989	---	CONTOUR (MINOR)
---	988	---	DECIDUOUS TREE
---		---	CONIFEROUS TREE
---		---	TREE LINE
---		---	MANHOLE/STRUCTURE
---		---	CATCH BASIN
---		---	HYDRANT
---		---	VALVE
---		---	CURB STOP
---		---	POWER POLE
---		---	UTILITY PEDESTAL / CABINET

CIVIL SHEET INDEX

NO.	TITLE
C0-10	TITLE
C0-11	DETAILS
C0-12	DETAILS
C0-13	DETAILS
C0-14	DETAILS
C1-10	EROSION CONTROL PLAN
C2-10	EXISTING SITE AND REMOVAL PLAN
C3-10	SITE PLAN
C3-20	SITE UTILITY PLAN
C4-10	SITE GRADING PLAN
C5-10	RESTORATION AND PLANTING PLAN
C5-20	IRRIGATION PLAN
C5-30	PLANTING NOTES AND DETAILS

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MISTER CARWASH SOMERS

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

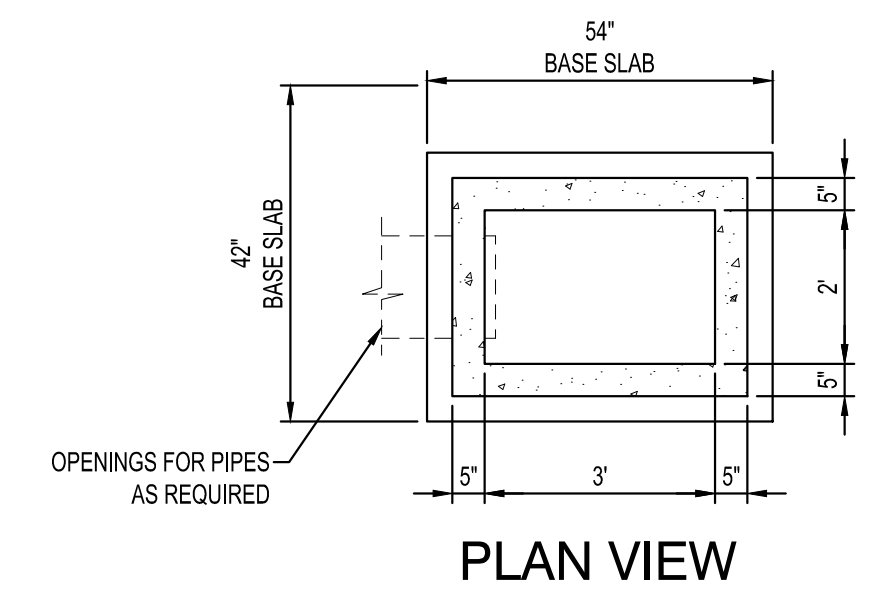
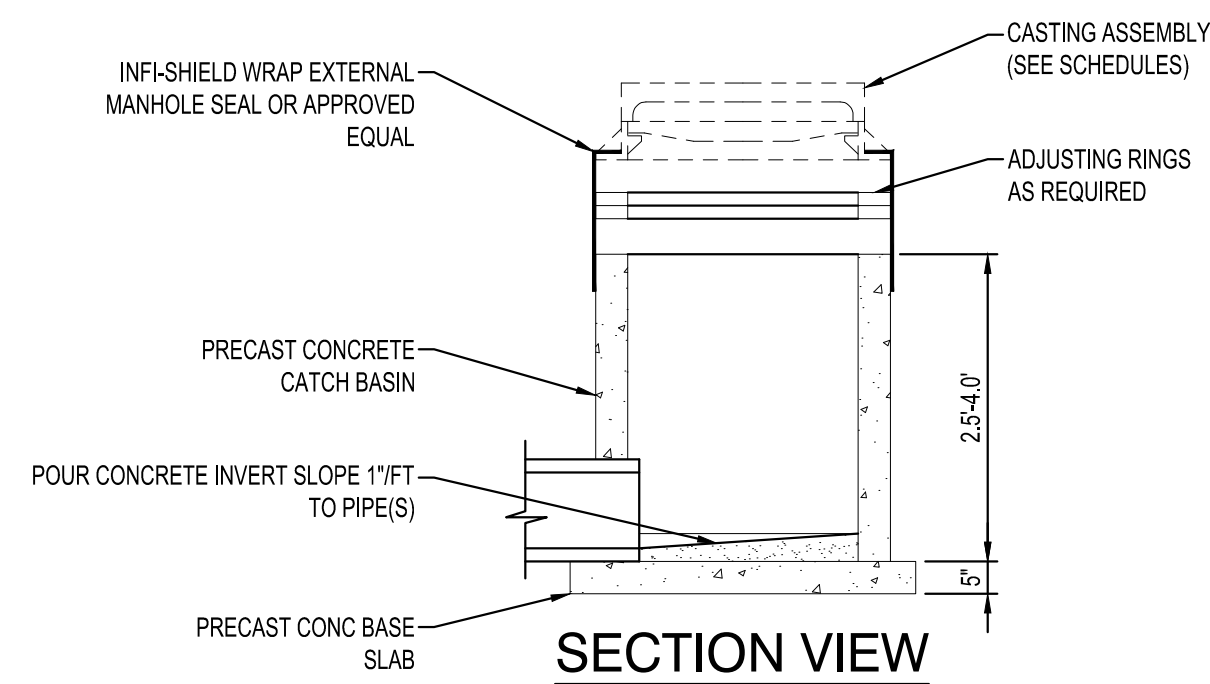
PROJECT NO.	22-26725
FILE NAME	26725 C0 - TITLE
DRAWN BY	-
DESIGNED BY	-
REVIEWED BY	-

TITLE

C0-10

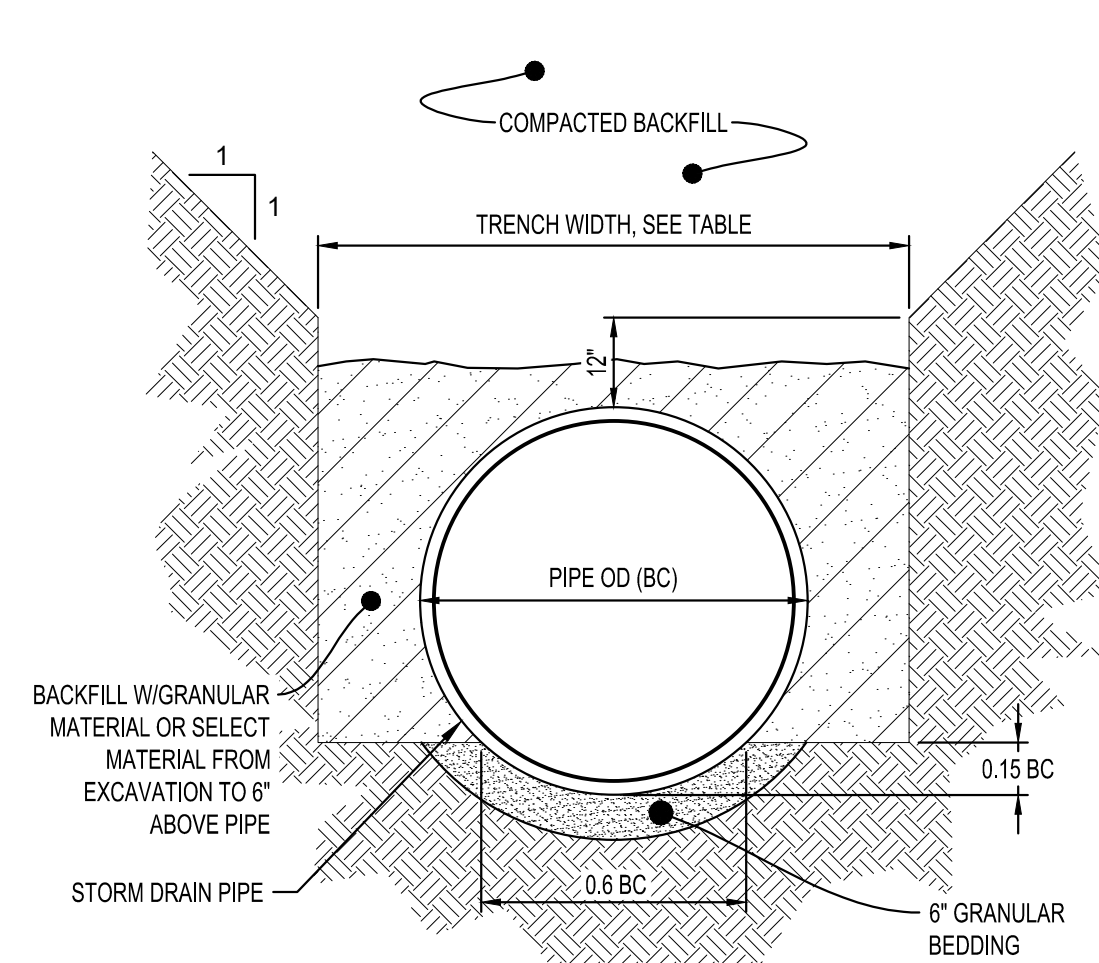


PRELIMINARY NOT FOR CONSTRUCTION



NOTES:
 ① INF-SHIELD WRAP EXTERNAL MANHOLE SEAL, OR APPROVED EQUAL, SHALL BE PLACED AROUND CASTING AND ADJUSTING RINGS.

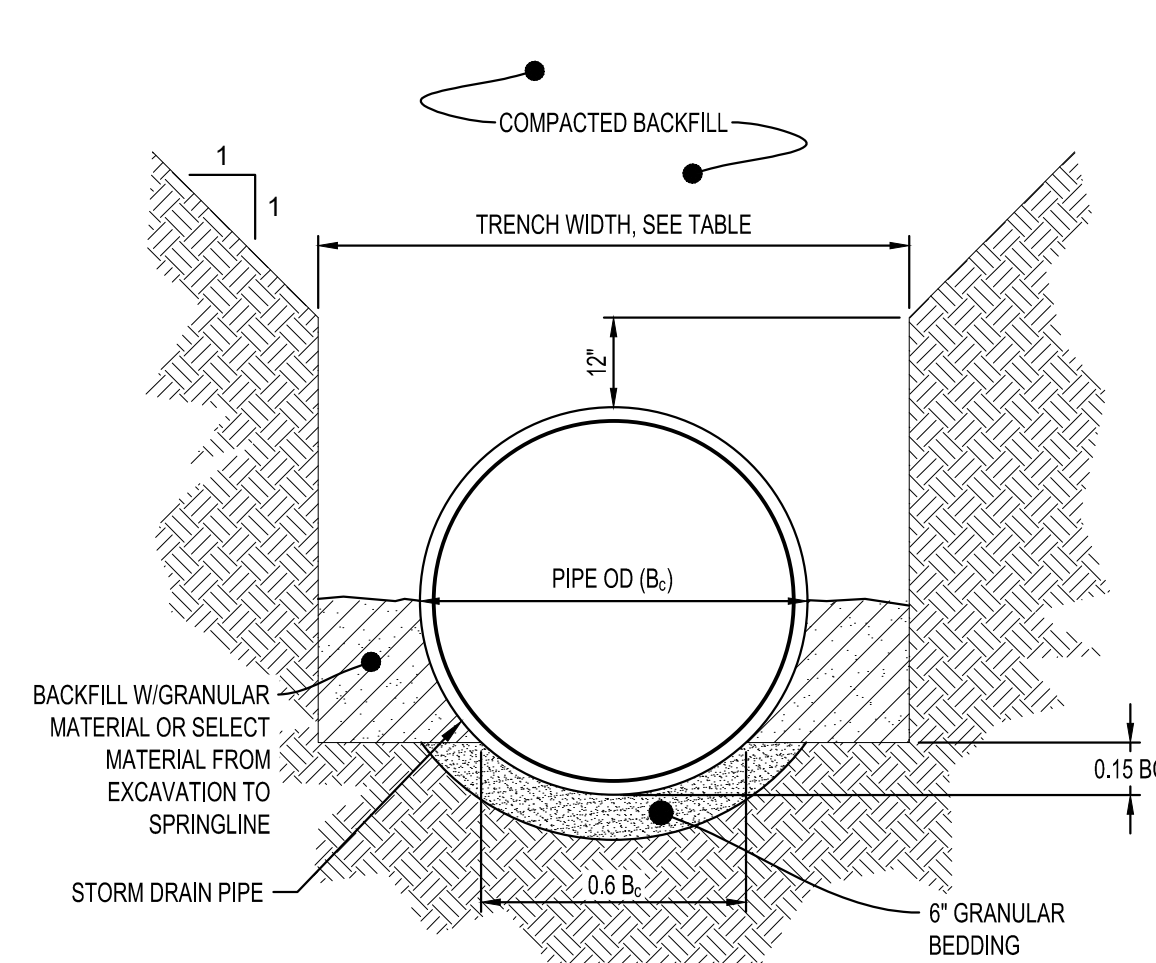
TYPE 1 CATCH BASIN
NTS



TRENCH WIDTH	
PIPE Ø	TRENCH WIDTH
36" OR LESS	BC + 24"
42" TO 54"	1.5 x BC
60" OR OVER	BC + 36"

NOTES:
 ① GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

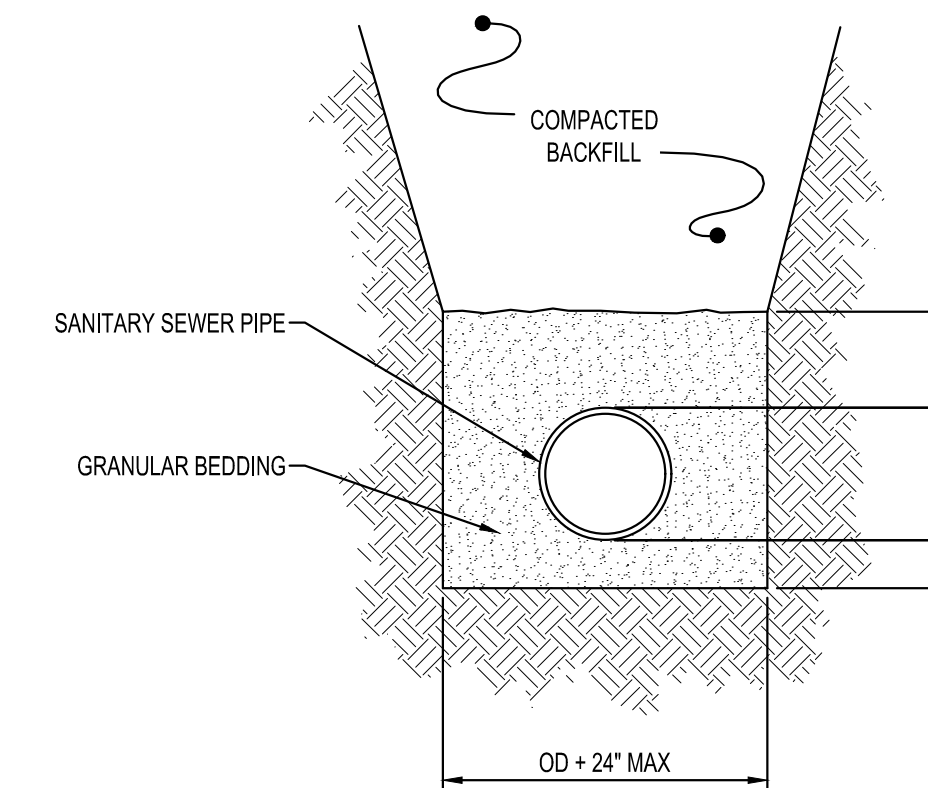
NON-CONCRETE STORM DRAIN PIPE BEDDING
NTS



TRENCH WIDTH	
PIPE Ø	TRENCH WIDTH
36" OR LESS	B _c + 24"
42" TO 54"	1.5 x B _c
60" OR OVER	B _c + 36"

NOTES:
 ① GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

REINFORCED CONCRETE STORM DRAIN PIPE BEDDING
NTS



NOTES:
 ① GRANULAR BEDDING AND ENCASEMENT FOR SANITARY SEWER PIPES SHALL BE INCIDENTAL TO CONSTRUCTION

PIPE BEDDING SANITARY SEWER
NTS

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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

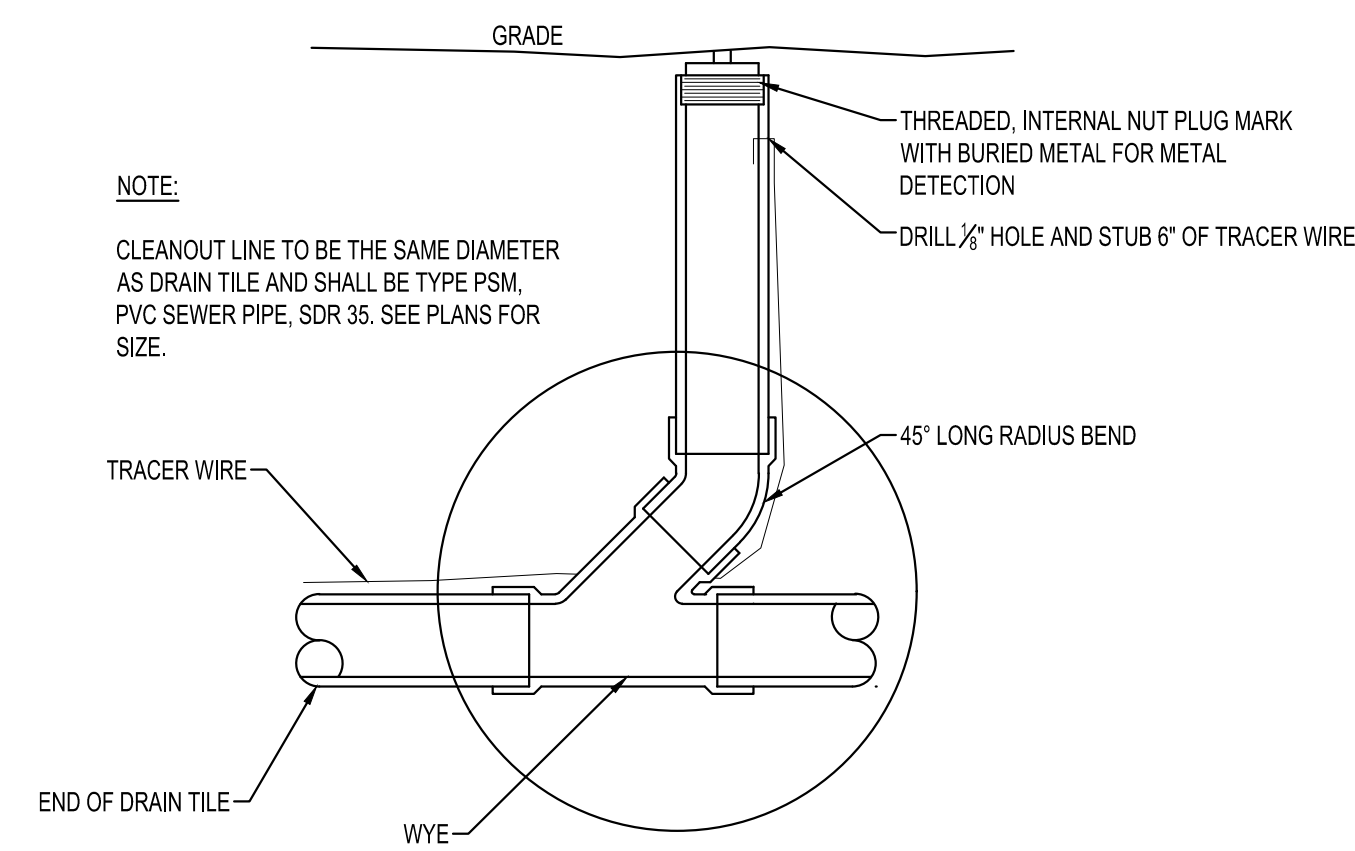
PROJECT NO.	22-26725
FILE NAME	26725 CO-DETAILS
DRAWN BY	JAT
DESIGNED BY	ART
REVIEWED BY	ATB

TITLE

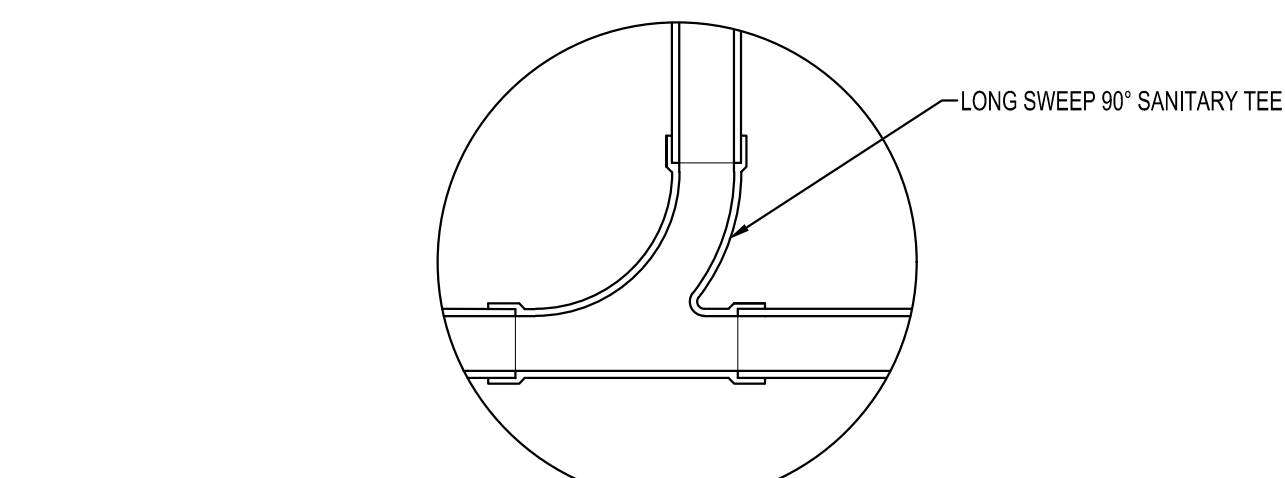
DETAILS

SHEET

C0-11

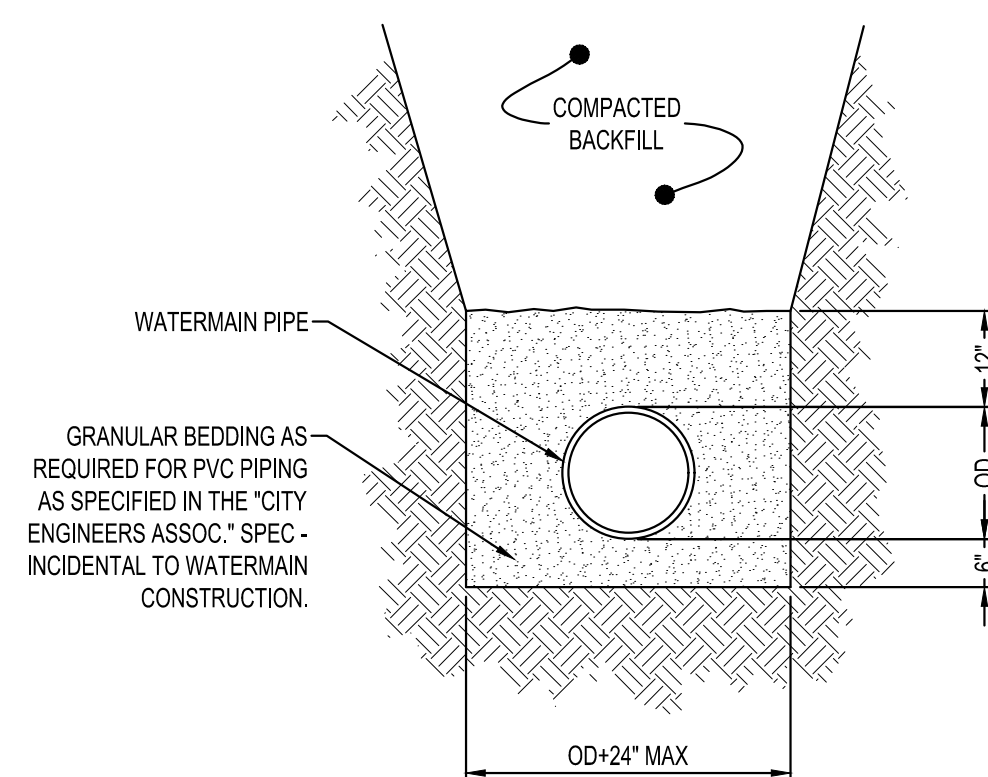


OPTION 1



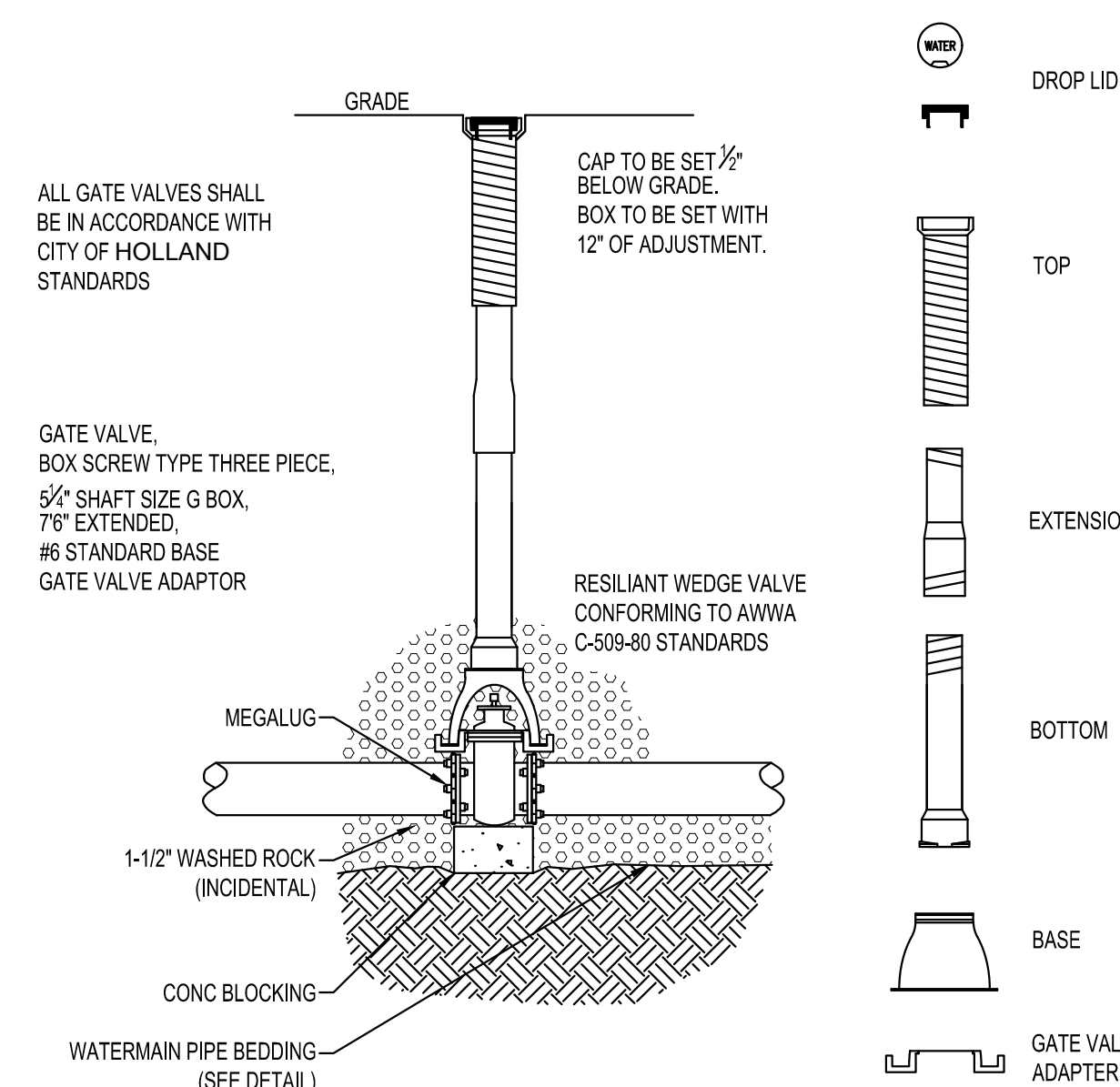
OPTION 2

SANITARY CLEANOUT
NTS



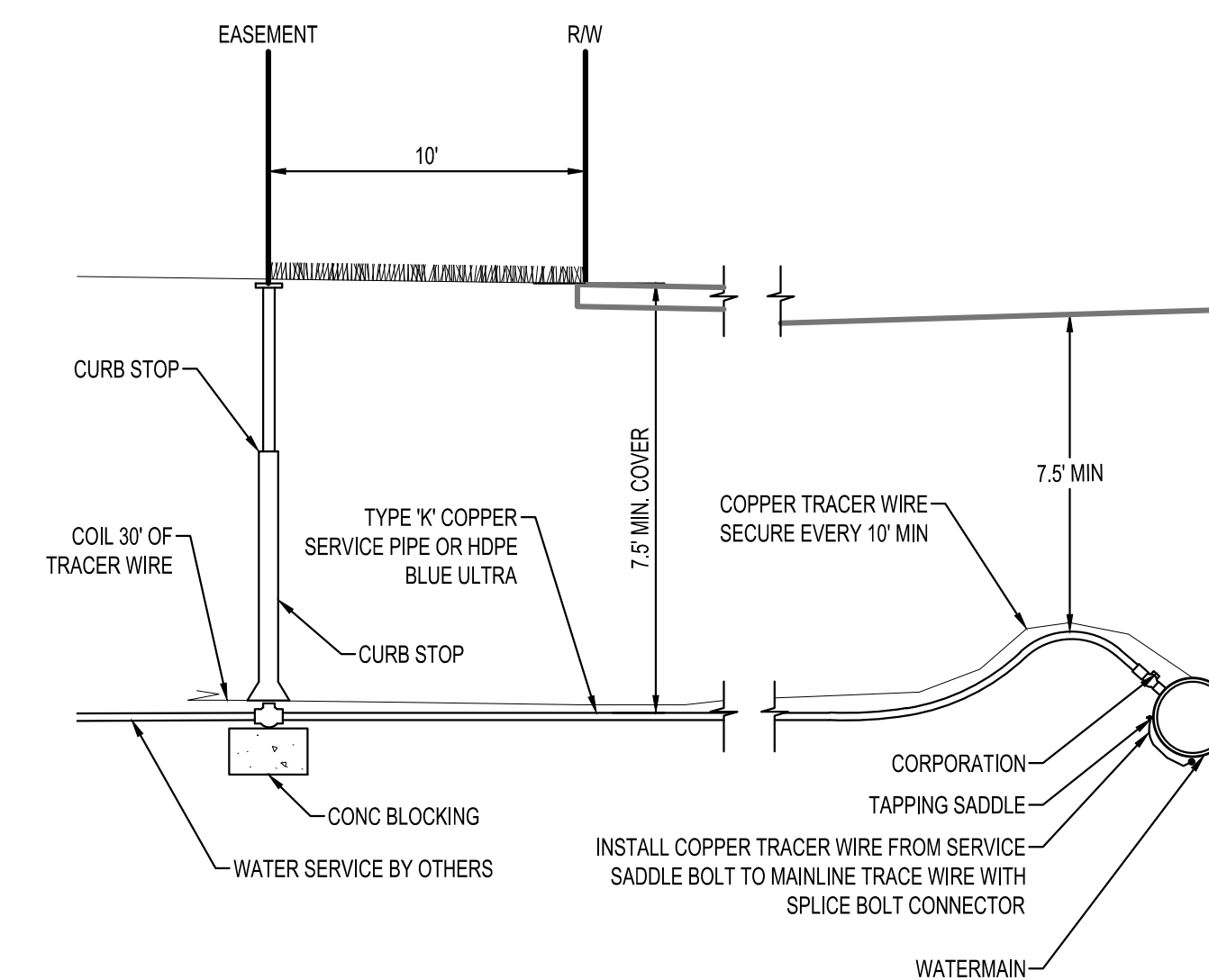
NOTE:
 ① GRANULAR BEDDING AND ENCASEMENT FOR WATERMAIN PIPES SHALL BE INCIDENTAL TO CONSTRUCTION

PIPE BEDDING WATER MAIN
NTS



NOTES:
 ① INSTALL TOP NUT EXTENDER TO 7\"/>

TYPICAL GATE VALVE & BOX INSTALLATION
NTS



TYPICAL WATER SERVICE
NTS



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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26725
FILE NAME	26725 CO-DETAILS
DRAWN BY	JAT
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REVIEWED BY	ATB

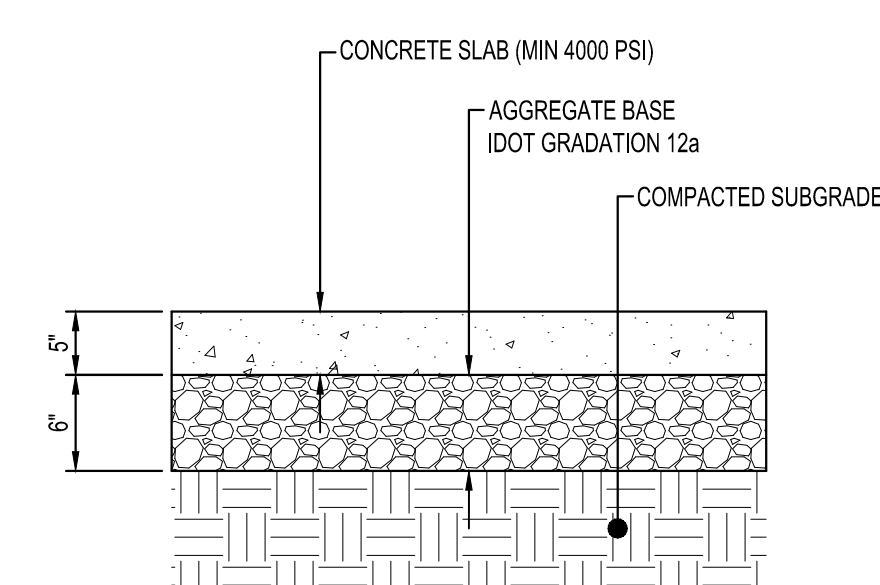
TITLE

DETAILS

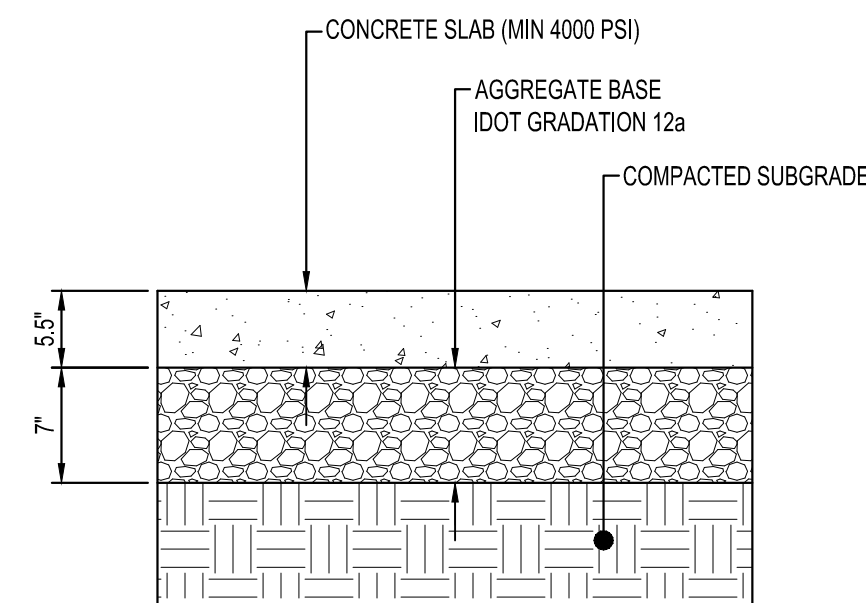
SHEET

C0-12

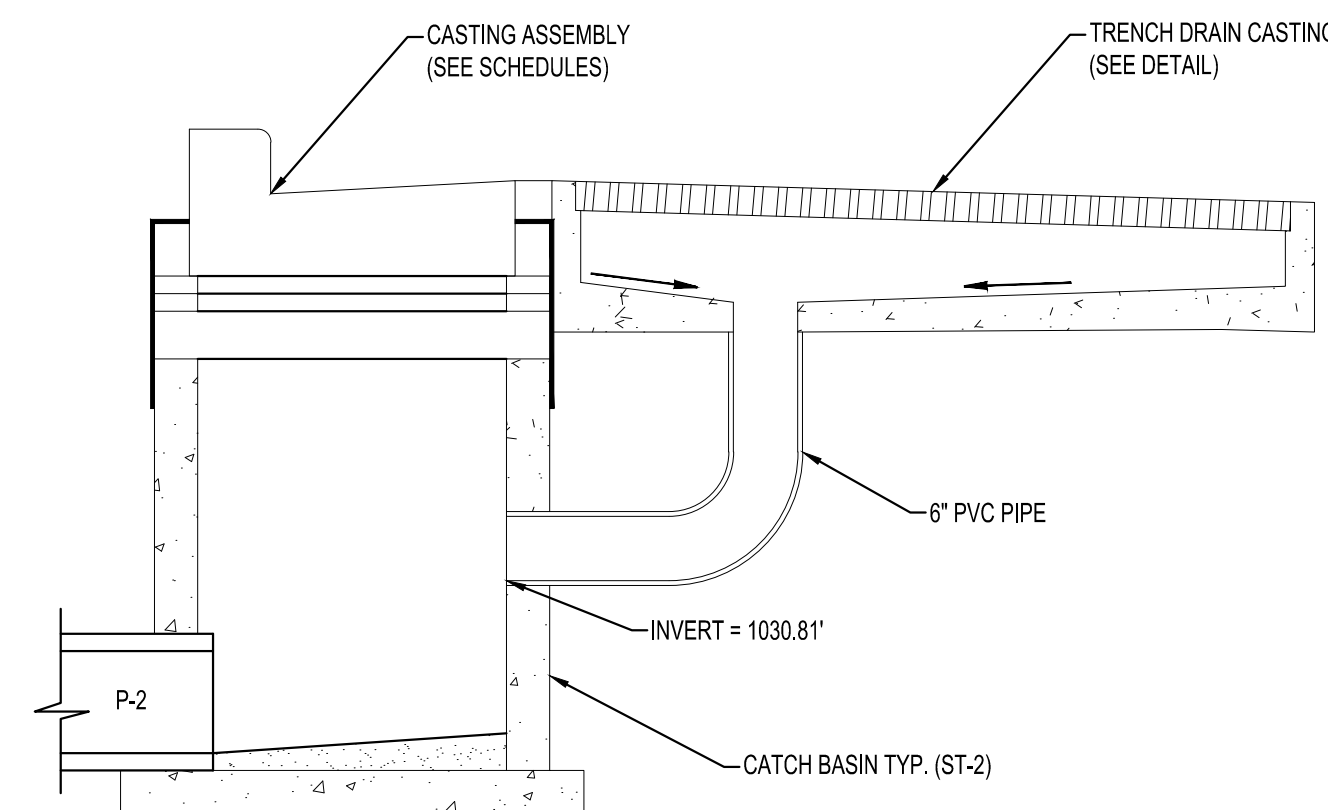
PRELIMINARY NOT FOR CONSTRUCTION



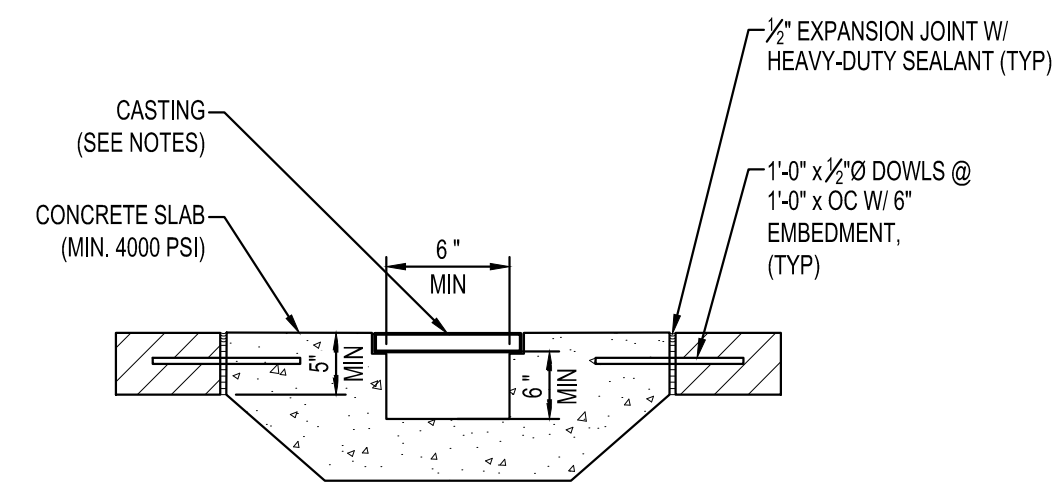
CONCRETE WALK
NTS



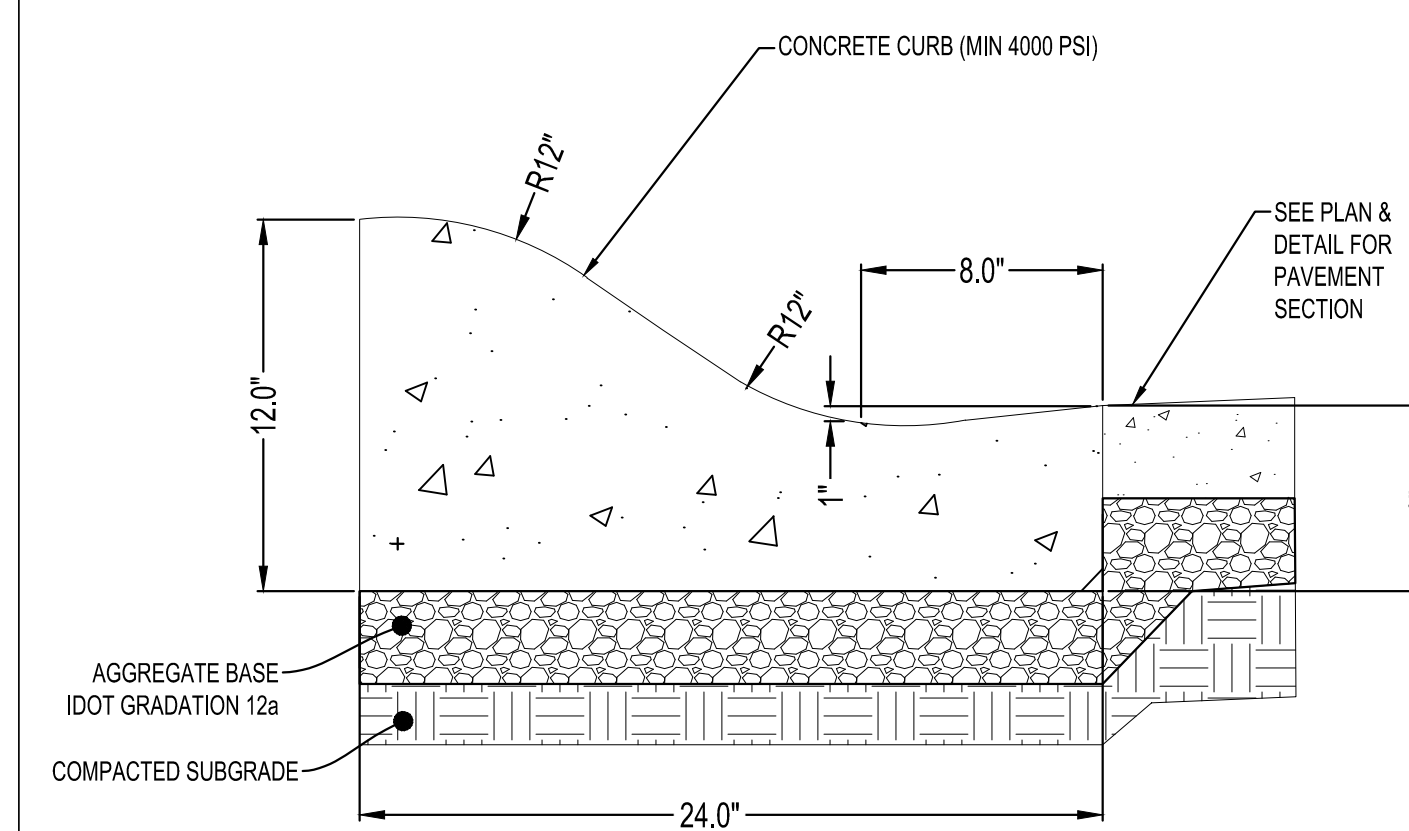
STANDARD
CONCRETE PAVEMENT
NTS



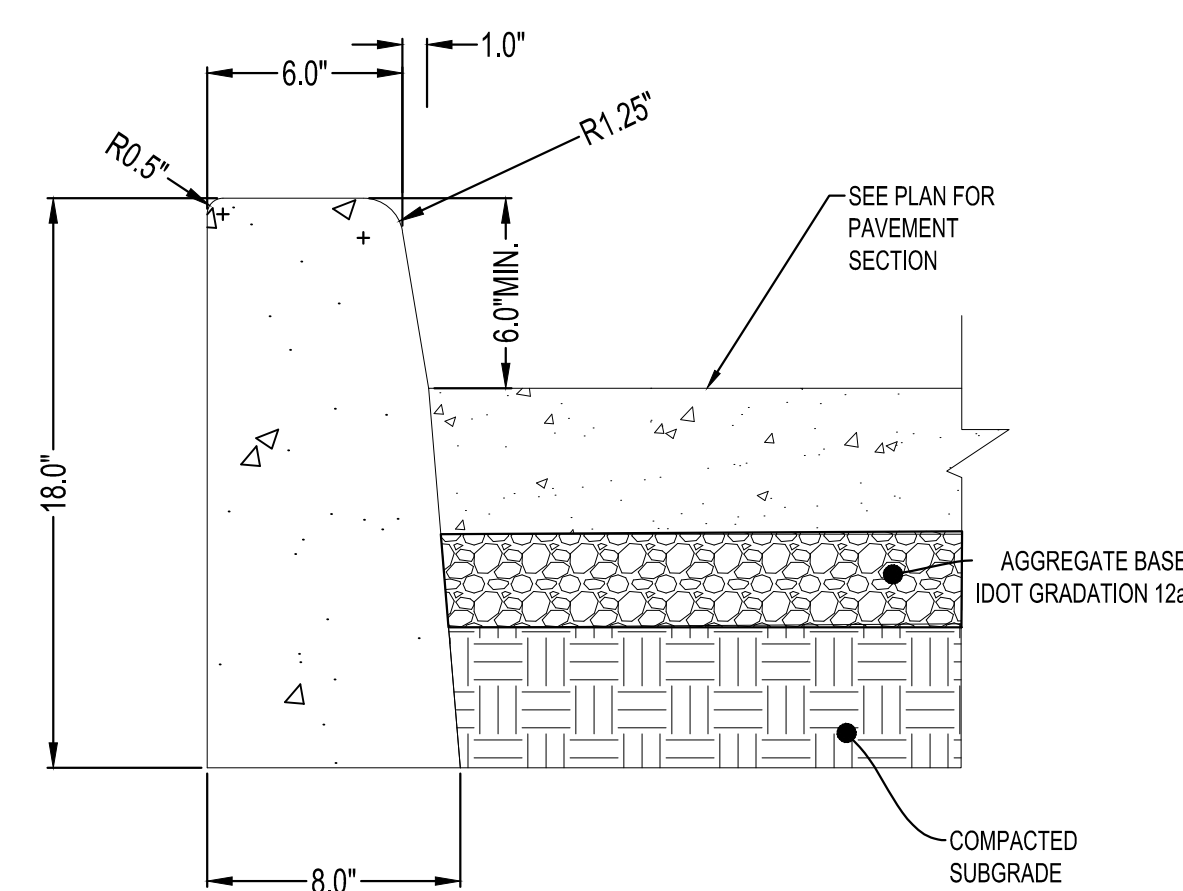
CATCH BASIN -
TRENCH DRAIN CONNECTION
NTS



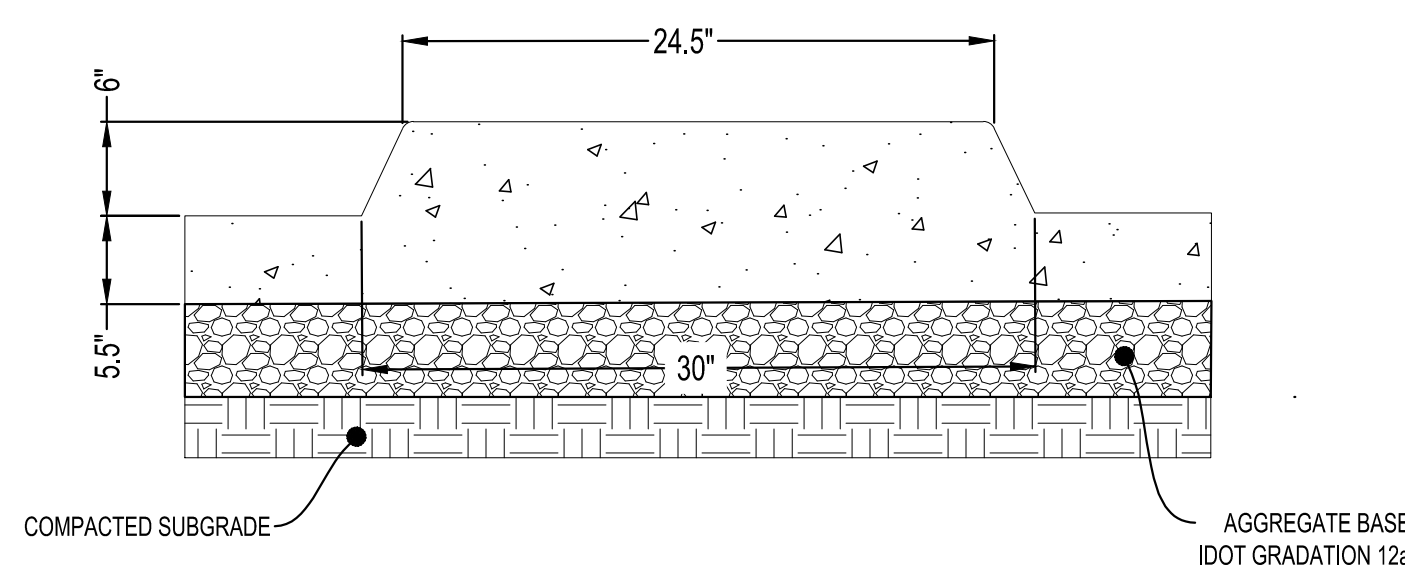
CONCRETE TRENCH DRAIN
NTS



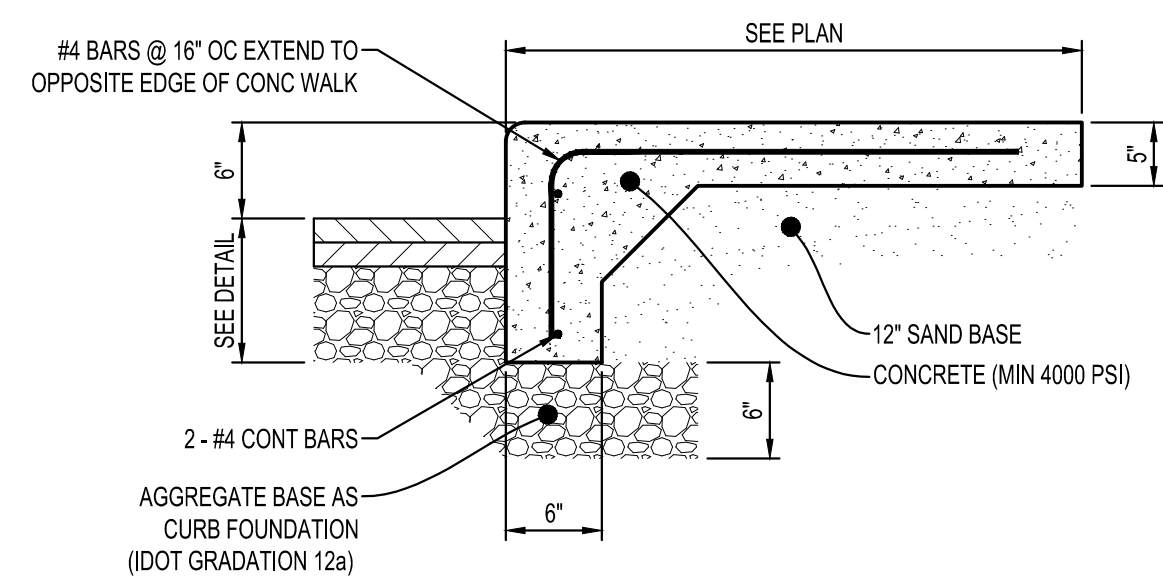
CONCRETE ROLLED CURB
NTS



CONCRETE VERTICAL CURB
NTS



POS ISLAND CURB DETAIL
NTS



TURN DOWN
CONCRETE SIDEWALK
NTS



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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26725
FILE NAME	26725 CO-DETAILS
DRAWN BY	JAT
DESIGNED BY	ART
REVIEWED BY	ATB

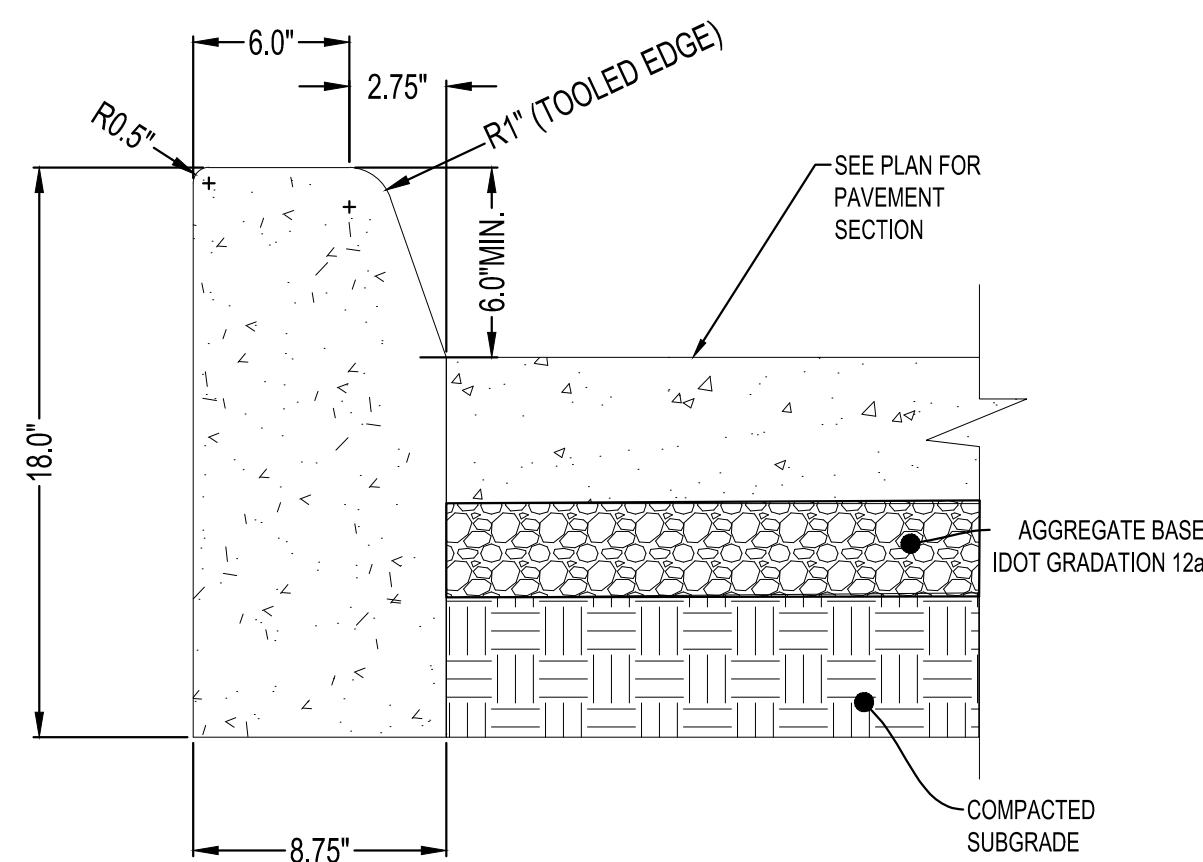
TITLE

DETAILS

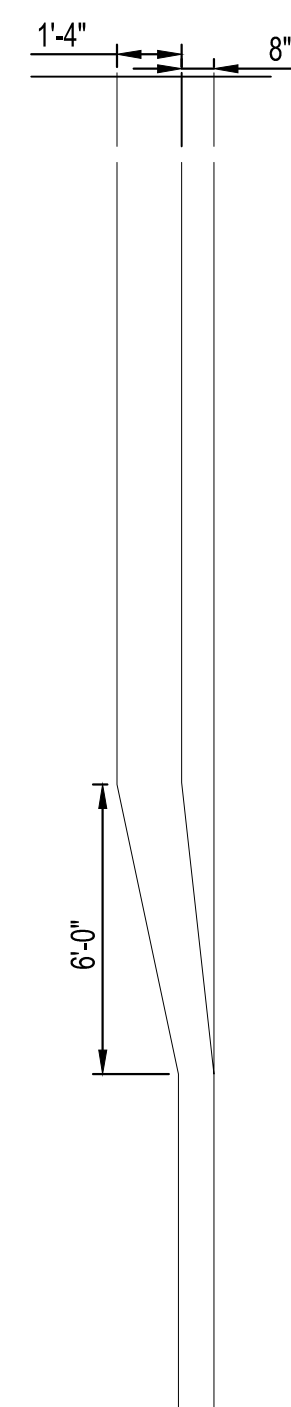
SHEET

C0-13

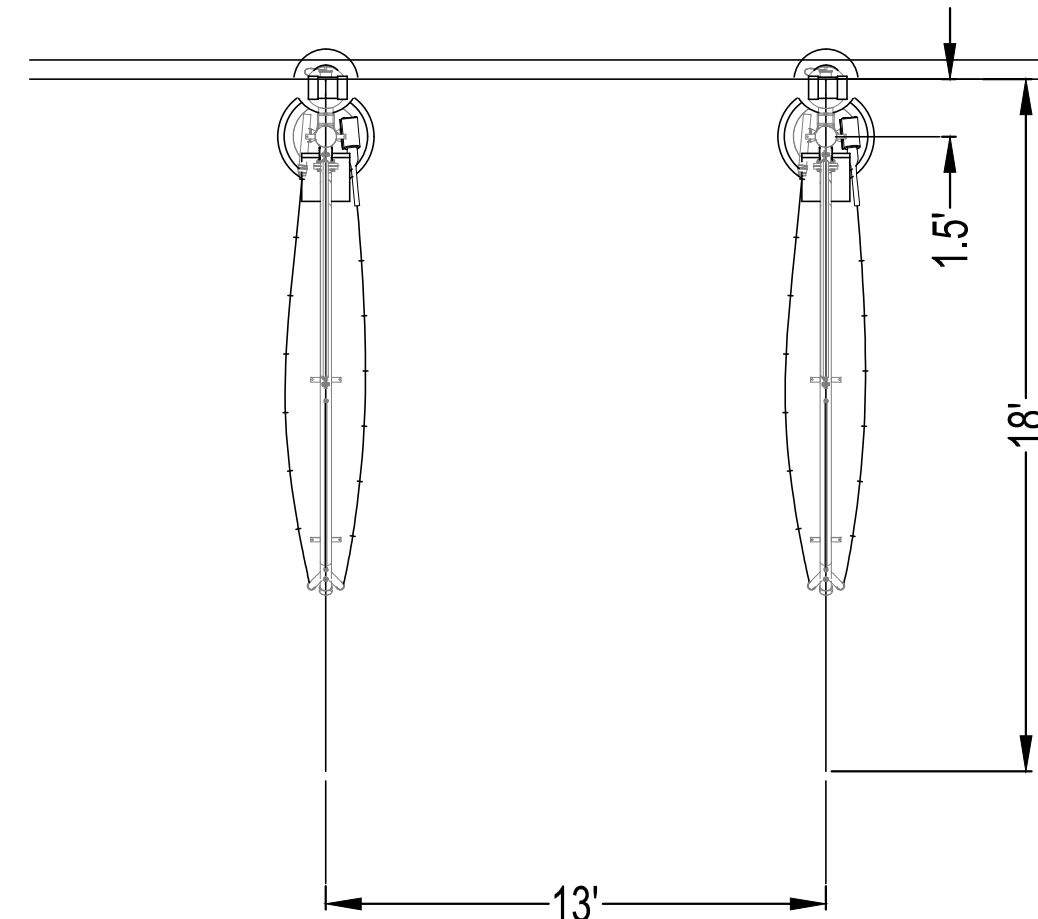
PRELIMINARY NOT FOR CONSTRUCTION



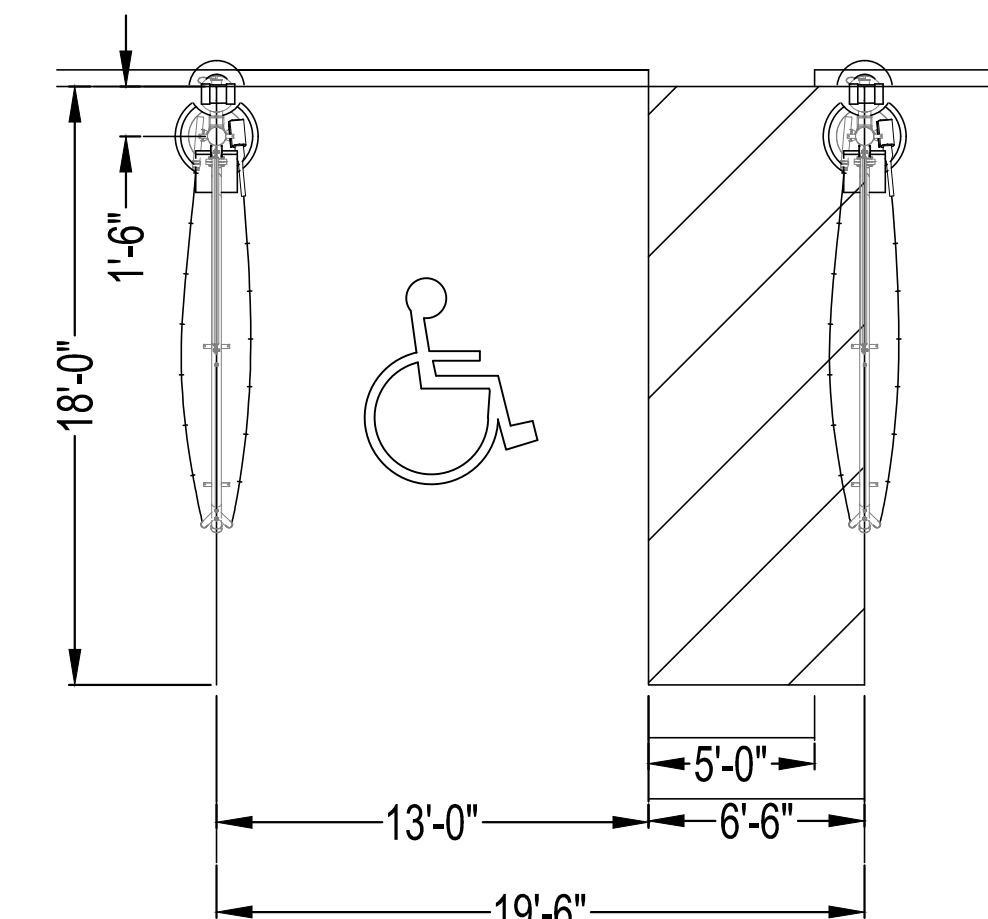
CONCRETE TAPERED CURB
NTS



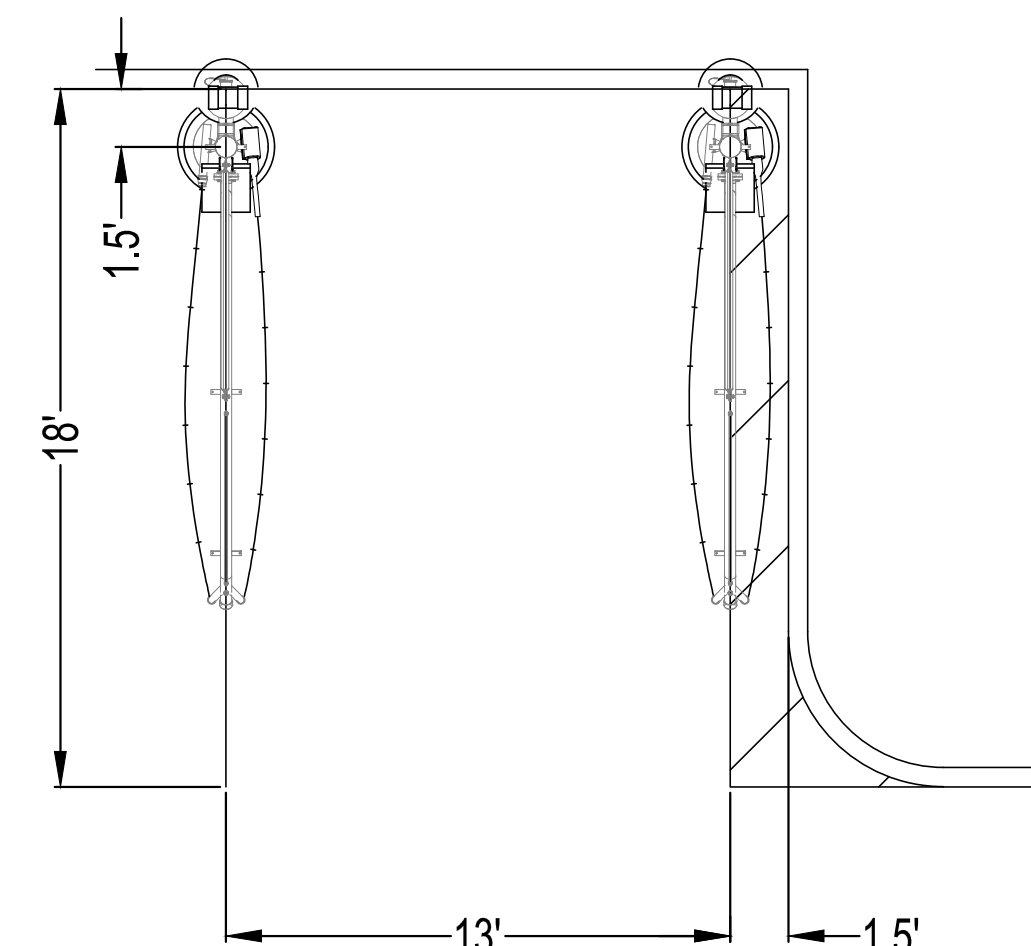
**TAPERED/ VERTICAL CURB
TRANSITION TO ROLLED CURB**
NTS



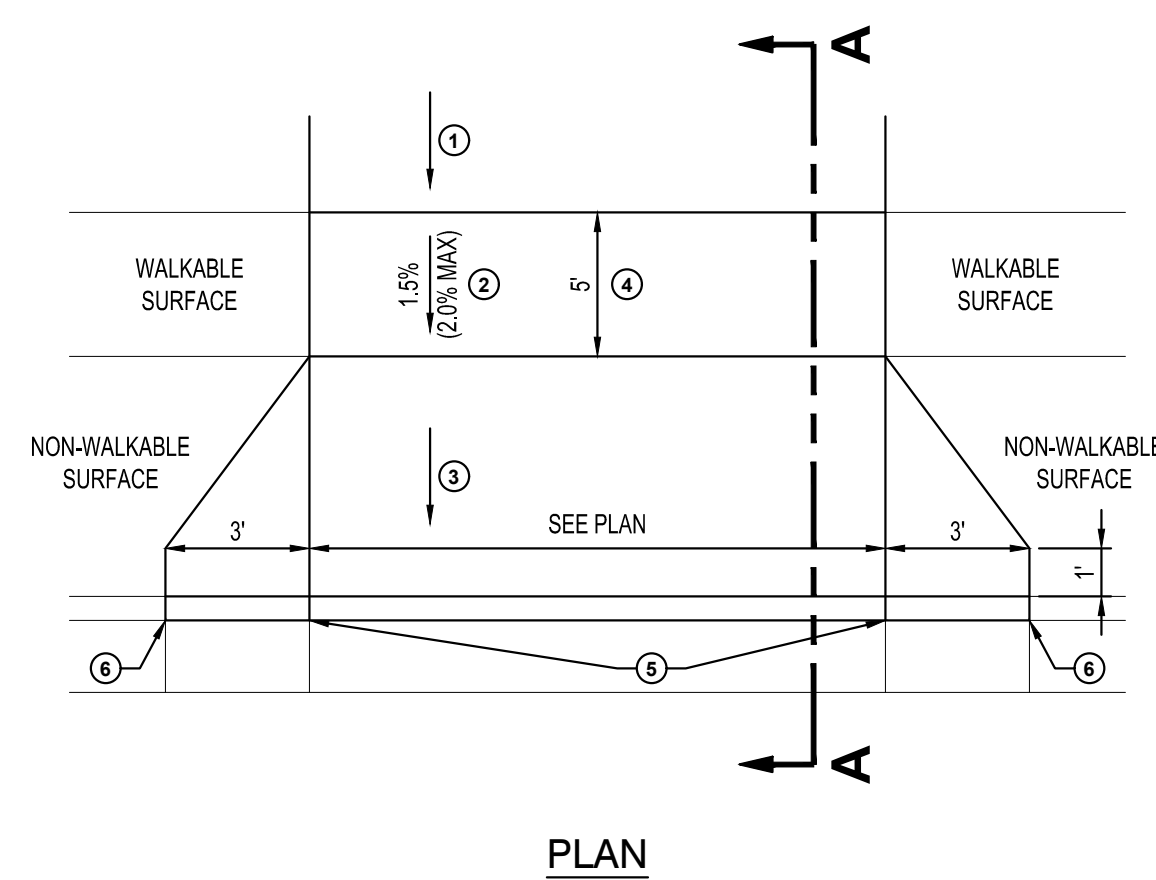
VACUUM STALL TYP.
NTS



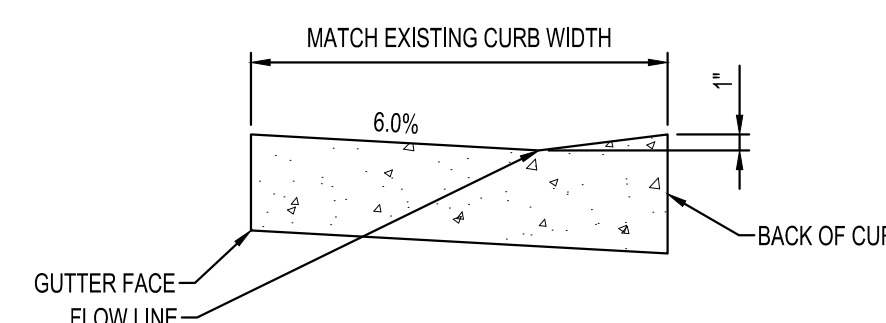
ADA PARKING STALL & ADJ. ACCESS AISLE
NTS



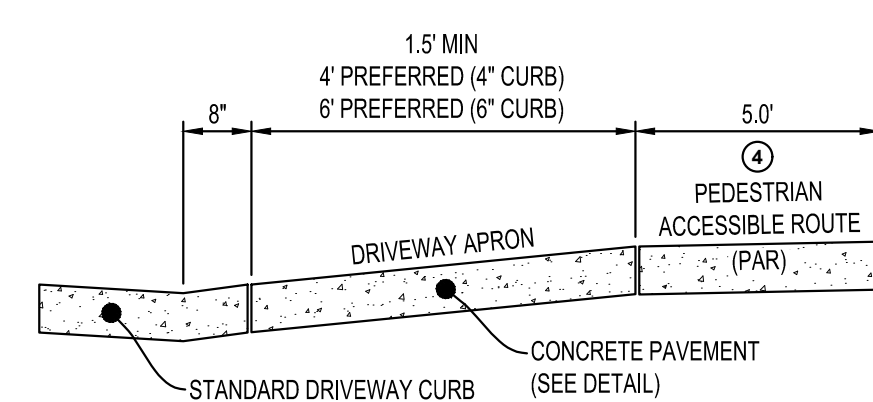
VACUUM STALL WITH CURB
NTS



PLAN



STANDARD CURB AT DRIVEWAY

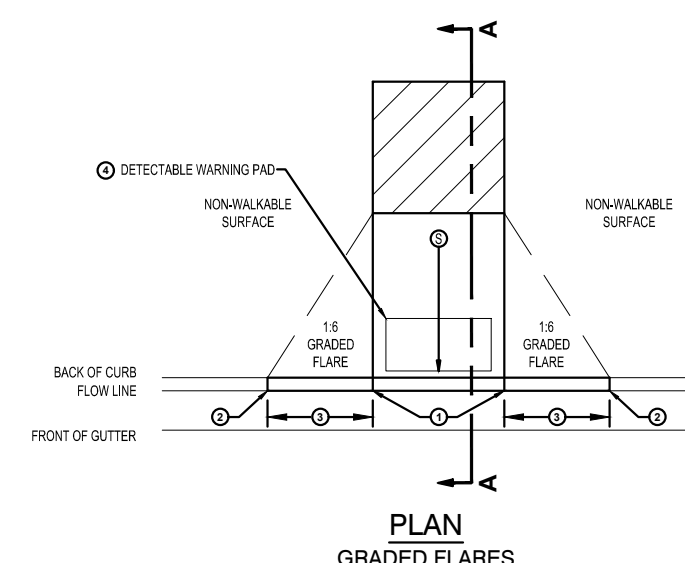


SECTION A-A

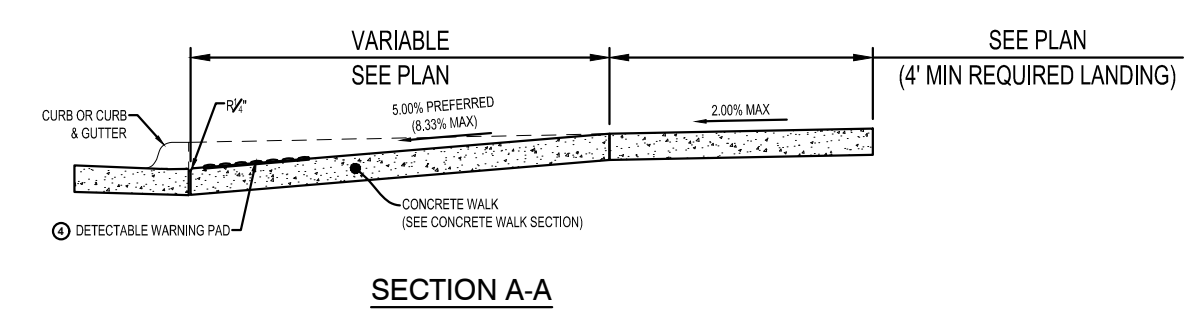
NOTES:

- ① TO BE USED WHEN THE DRIVEWAY PAR IS LEVEL WITH OR ABOVE THE TOP OF CURB, RESULTING IN A CONTINUOUS PAR PROFILE.
- ② 8.0% MAX PREFERRED.
- ③ THE PEDESTRIAN ACCESS ROUTE(PAR) MAY NOT EXCEED 0.02 FT/FT AS CONSTRUCTED.
- ④ 8.0% MAX PREFERRED, 10.0% MAX FOR COMMERCIAL AND 12.0% MAX FOR RESIDENTIAL.
- ⑤ 5.0' STANDARD MIN PAR WIDTH (4' ABSOLUTE MINIMUM). IF FEASIBLE WIDEN DRIVEWAY PAR WIDTH TO MATCH APPROACHING SIDEWALK PAR WIDTHS.
- ⑥ 0" CURB HEIGHT.
- ⑦ 6" CURB HEIGHT.

TYPICAL DRIVEWAY
NTS



PLAN
GRADED FLARES

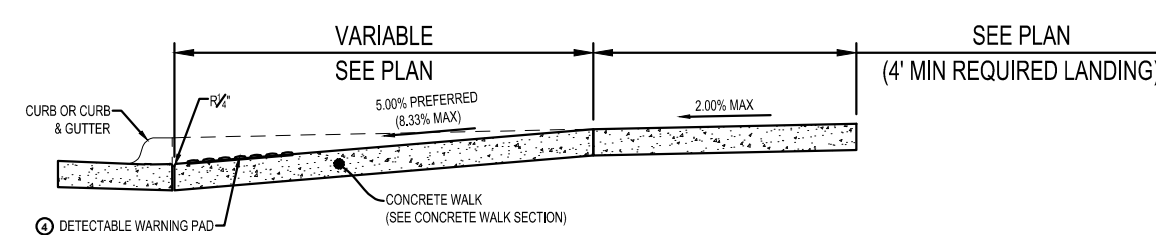
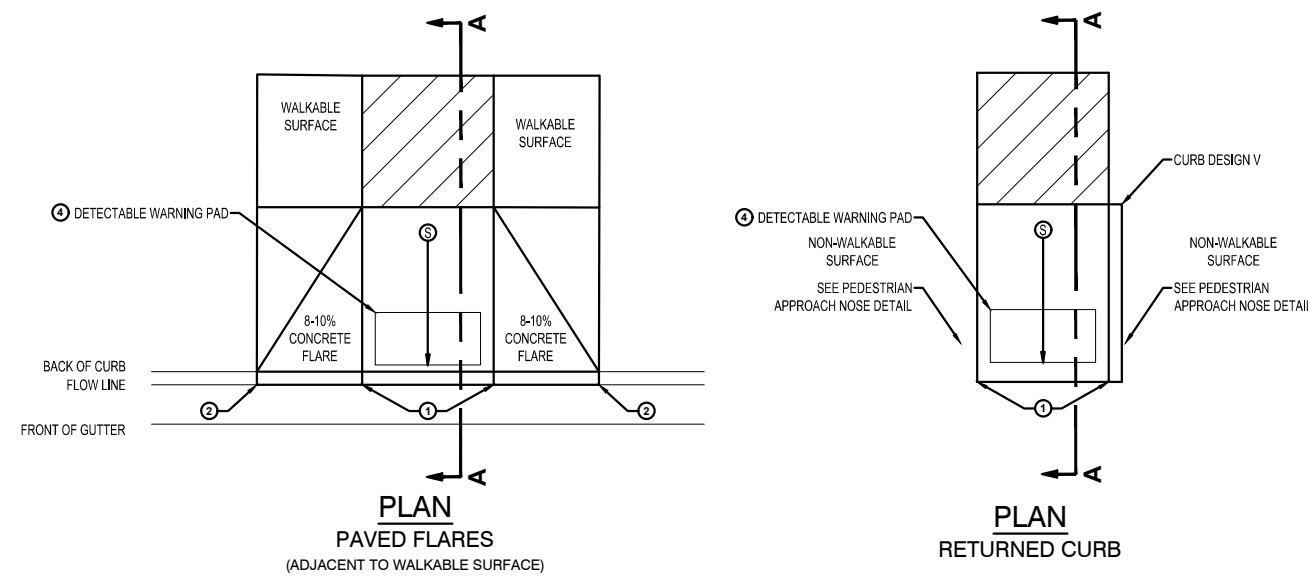


SECTION A-A

LEGEND	
	0" CURB HEIGHT.
	FULL CURB HEIGHT.
	2" FOR 4" HIGH CURB AND 2" FOR 6" HIGH CURB.
	4" FOR 4" HIGH CURB AND 4" FOR 6" HIGH CURB.
	6" FOR 4" HIGH CURB AND 6" FOR 6" HIGH CURB.

- NOTES:
- ① INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 0.5% MINIMUM AND 0.5% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
 - ② LANDING AREA 4' x 4' MIN. IF 4' MIN. PREFERRED. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PEDESTRIAN ACCESS ROUTE.

**STANDARD
PERPENDICULAR CURB RAMP**
NTS



SECTION A-A

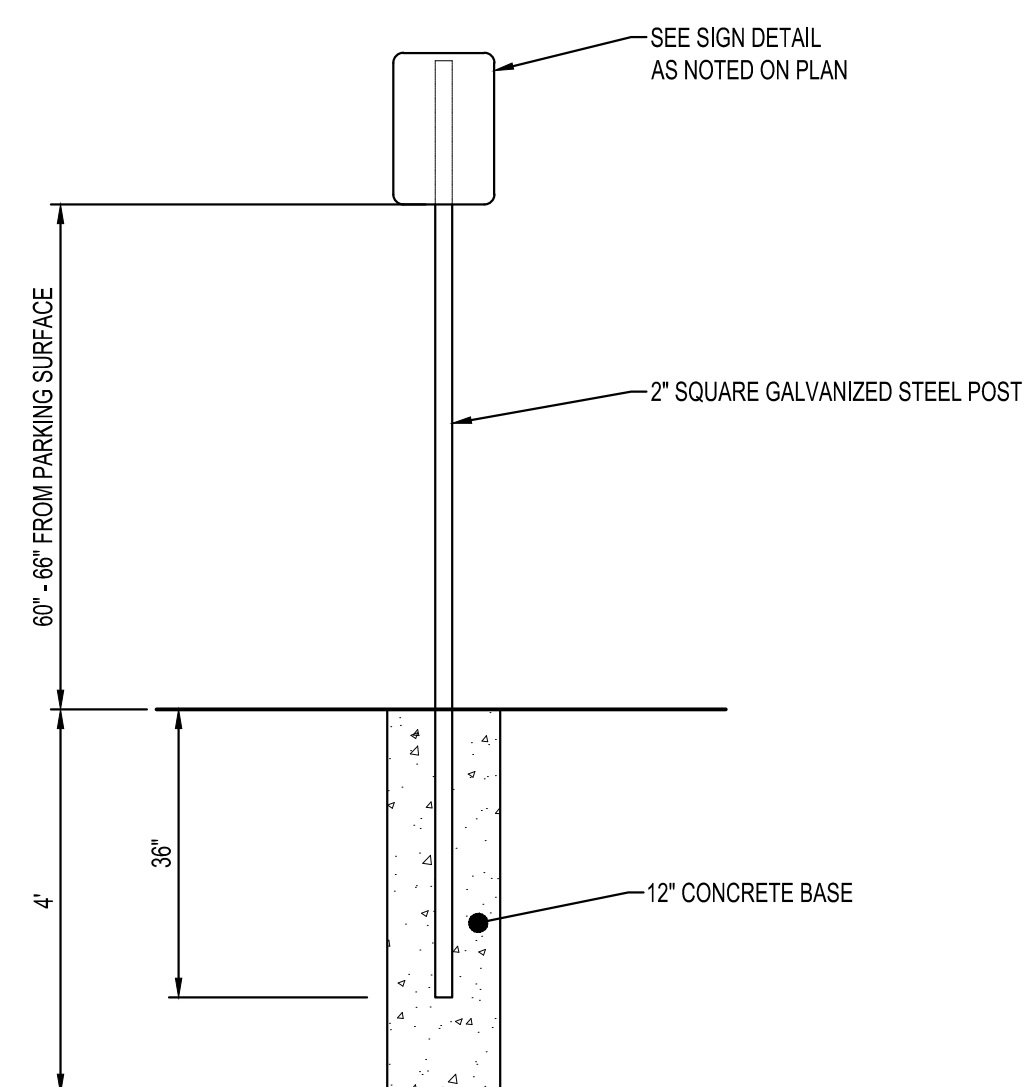
LEGEND	
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 0.5% MINIMUM AND 0.5% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
	LANDING AREA - 4' x 4' MIN. IF 4' x 4' MIN. PREFERRED. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCLUDING PEDESTRIAN ACCESS ROUTE.

NOTES:

- 1" CURB HEIGHT
- 4" FULL CURB HEIGHT
- 2" FOR 4" HIGH CURB AND 2" FOR 4" HIGH CURB
- IF SPECIFIED ON THE PLAN, DETECTABLE WARNING PADS WILL BE INSTALLED IN ACCORDANCE WITH MOST STANDARD PLAN S-207.26.

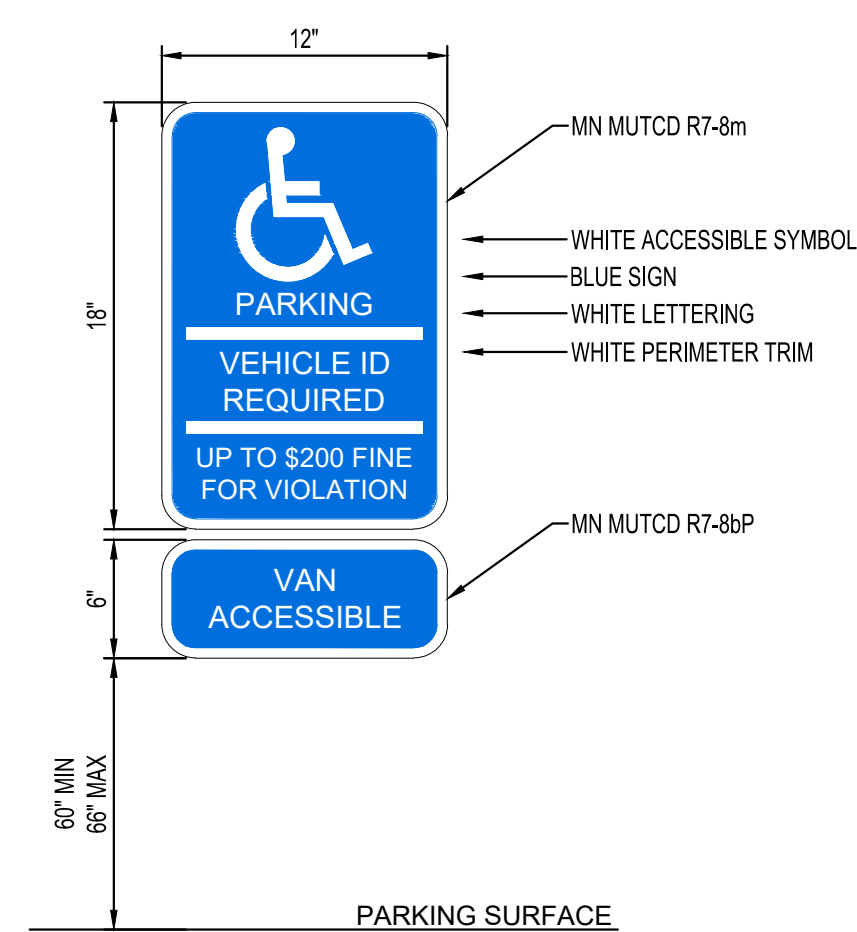
STANDARD PERPENDICULAR CURB RAMP

NTS



SIGN POST IN CONCRETE

NTS



NOTES:

ACCESSIBLE PARKING STALL SIGN TO BE MOUNTED AT THE HEIGHT SHOWN. SIGN SHALL COMPLY WITH MINNESOTA STATUTES, SECTION 169.346, SUBDIVISION 2, PARAGRAPH (a). SIGN TO BE CENTERED ON PARKING STALL.

ACCESSIBLE PARKING SIGN

NTS



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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

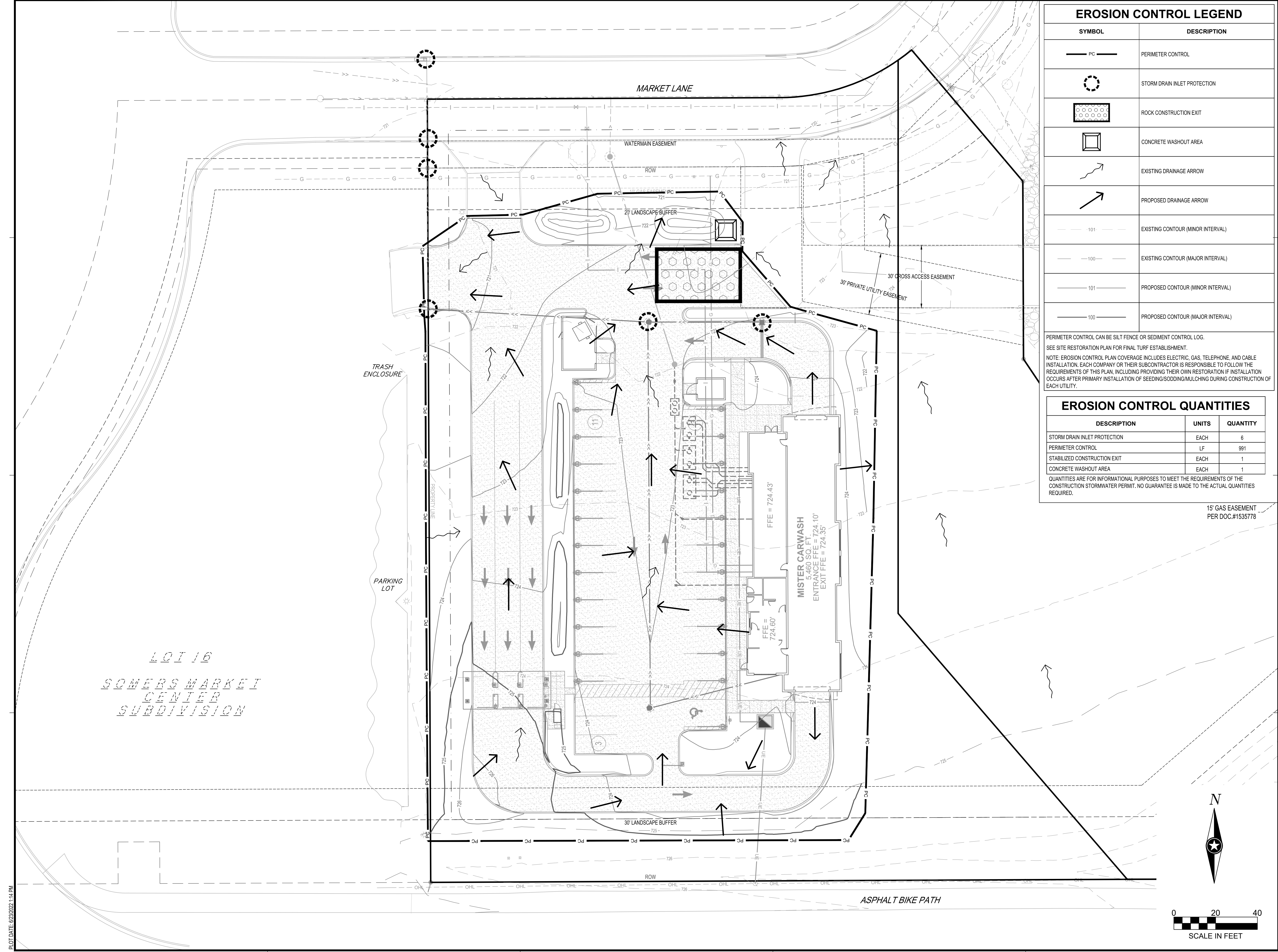
PROJECT NO.	22-26725
FILE NAME	26725 CO-DETAILS
DRAWN BY	JAT
DESIGNED BY	ART
REVIEWED BY	ATB

TITLE

DETAILS

SHEET

C0-14





EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
— PC —	PERIMETER CONTROL
⊙	STORM DRAIN INLET PROTECTION
⊠	ROCK CONSTRUCTION EXIT
□	CONCRETE WASHOUT AREA
↗	EXISTING DRAINAGE ARROW
↘	PROPOSED DRAINAGE ARROW
— 10' —	EXISTING CONTOUR (MINOR INTERVAL)
— 100' —	EXISTING CONTOUR (MAJOR INTERVAL)
— 10' —	PROPOSED CONTOUR (MINOR INTERVAL)
— 100' —	PROPOSED CONTOUR (MAJOR INTERVAL)

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.
 SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.
 NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

EROSION CONTROL QUANTITIES		
DESCRIPTION	UNITS	QUANTITY
STORM DRAIN INLET PROTECTION	EACH	6
PERIMETER CONTROL	LF	991
STABILIZED CONSTRUCTION EXIT	EACH	1
CONCRETE WASHOUT AREA	EACH	1

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.





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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26725
 FILE NAME 26725 C1-EROSION
 DRAWN BY JAT
 DESIGNED BY ART
 REVIEWED BY ATB

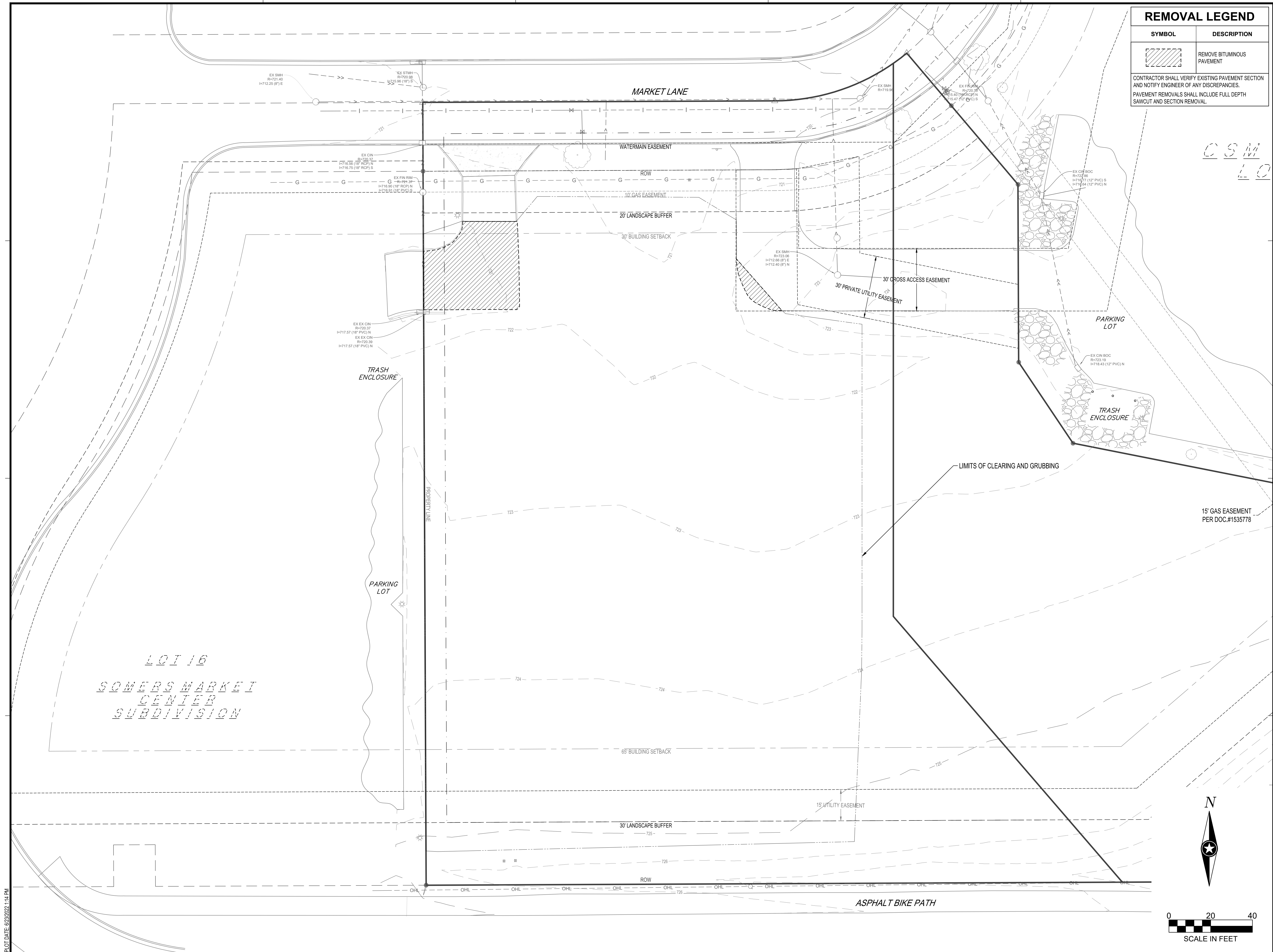
TITLE

EROSION CONTROL PLAN

SHEET

C1-10

PLOT DATE: 6/29/2022 1:14 PM



REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.	



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PROJECT
MISTER CARWASH SOMERS
 SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26725

FILE NAME 26725 C2-EXIST

DRAWN BY JAT

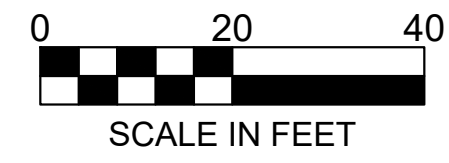
DESIGNED BY ART

REVIEWED BY ATB

TITLE
EXISTING SITE AND REMOVAL PLAN

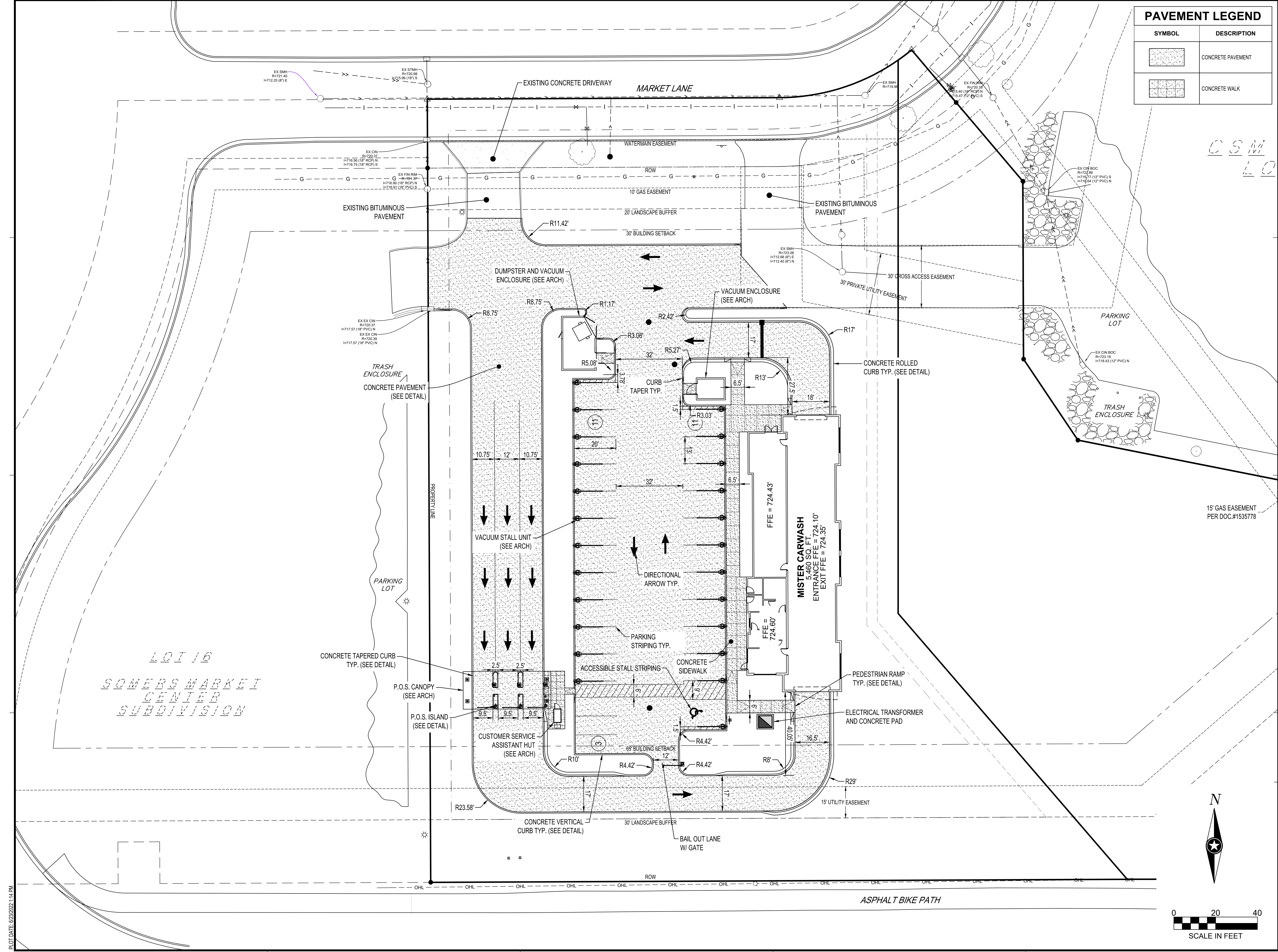
SHEET
C2-10

CSM
LD



PLOT DATE: 6/26/2022 1:14 PM

PRELIMINARY NOT FOR CONSTRUCTION



PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT
	CONCRETE WALK



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PROJECT
MISTER CARWASH SOMERS
 SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

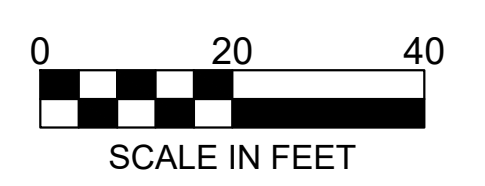
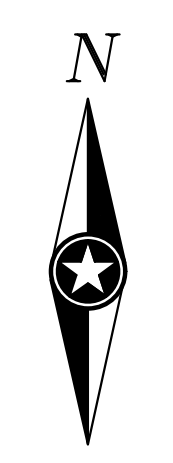
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26725
 FILE NAME 26725 C3-SITE
 DRAWN BY JAT
 DESIGNED BY ART
 REVIEWED BY ATB

TITLE
SITE PLAN

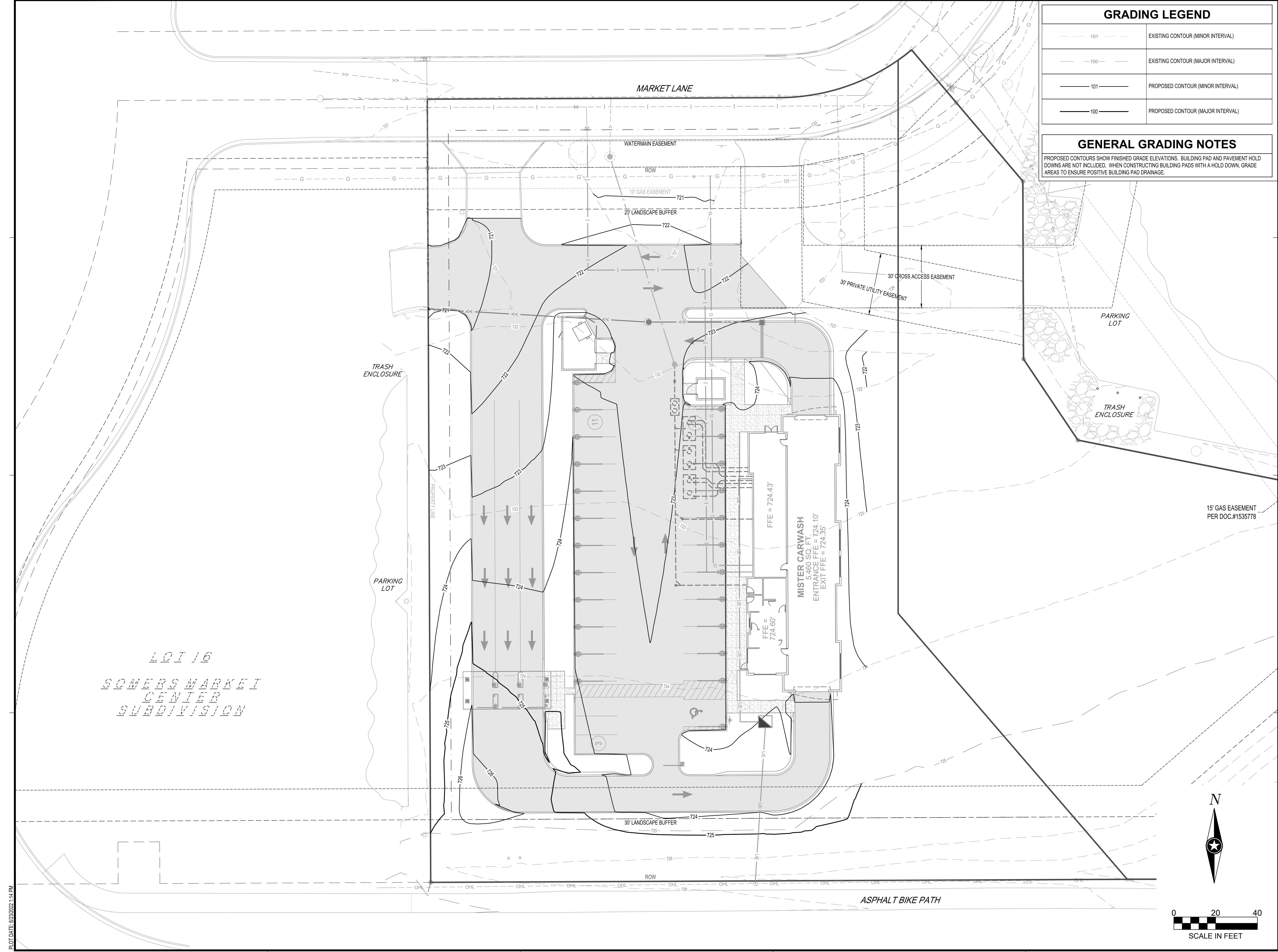
SHEET
C3-10

C S M
L O



PLOT DATE: 6/29/2022 1:14 PM

PRELIMINARY NOT FOR CONSTRUCTION



GRADING LEGEND	
--- 101 ---	EXISTING CONTOUR (MINOR INTERVAL)
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)
— 101 —	PROPOSED CONTOUR (MINOR INTERVAL)
— 100 —	PROPOSED CONTOUR (MAJOR INTERVAL)

GENERAL GRADING NOTES
 PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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PROJECT		
MISTER CARWASH SOMERS		
SOMERS		WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26725
FILE NAME	26725 C4-GRADE
DRAWN BY	JAT
DESIGNED BY	ART
REVIEWED BY	ATB

TITLE
SITE GRADING PLAN

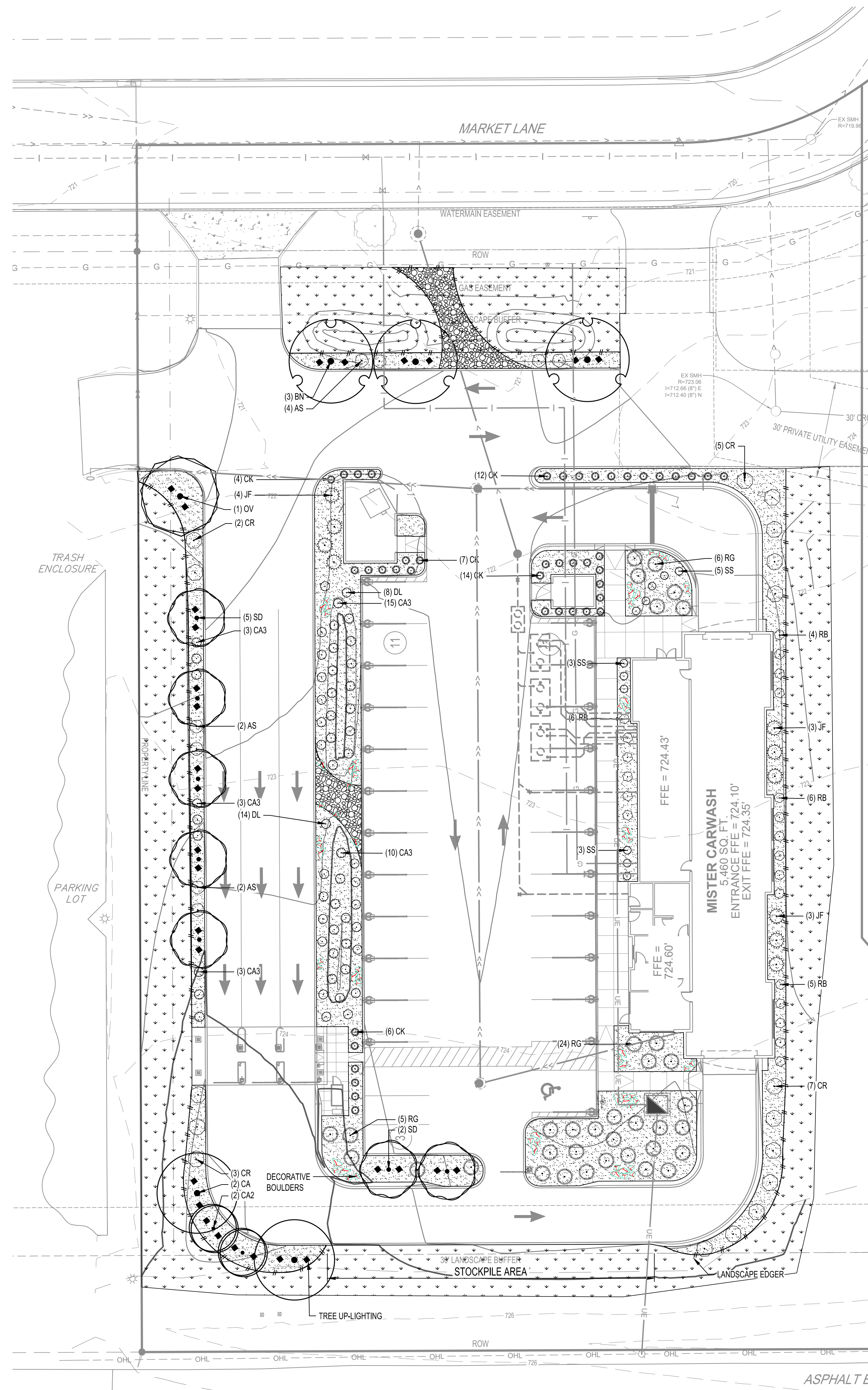
SHEET
C4-10

PLOT DATE: 6/25/2022 1:14 PM

PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	CA2	2	CORNUS ALTERNIFOLIA PAGODA DOGWOOD	2.5" CAL	B & B
OVERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	BN	3	BETULA NIGRA RIVER BIRCH MULTI-TRUNK	2.5" CAL	B & B
	CA	2	CARPINUS CAROLINIANA AMERICAN HORNBEAM	2.5" CAL	B & B
	OV	1	OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM	2.5" CAL	B & B
	SD	7	SORBUS DECORA SHOWY MOUNTAIN ASH	2.5" CAL	B & B
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	AS	8	AMELANCHIER STOLONIFERA RUNNING SERVICEBERRY	5 GAL	CONT
	CA3	34	CEANOTHUS AMERICANUS NEW JERSEY TEA	5 GAL	CONT
	CR	17	CORNUS SERICEA RED TWIG DOGWOOD	2 GAL	CONT
	DL	22	DIERVILLA SESSILIFOLIA 'LPDC PODARAS' COOL SPLASH DWARF HONEYSUCKLE	2 GAL	CONT
	RG	35	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	2 GAL	CONT
	RB	21	ROSA BLANDA SMOOTH ROSE	1 GAL	CONT
	SS	11	SORBARIA SORBIFOLIA 'SEM' SEM ASH LEAF SPIREA	5 GAL	CONT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	JF	10	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	5 GAL	CONT
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	CK	43	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	2 GAL	CONT
ROCK MULCH	QTY	BOTANICAL / COMMON NAME			
	9,305 SF	2" - 3" DECORATIVE GRANITE LANDSCAPE ROCK (GRAY COLOR) WITH NON WOVEN LANDSCAPE FABRIC			
	688	3" - 6" DIA RIVER ROCK AT 3" DEPTH			
SEED MIX	QTY	BOTANICAL / COMMON NAME			
	12,252 SF	WISDOT SEED MIX #40			
EDGER	QTY	DESCRIPTION			
	715 LF	STEEL EDGER (SEE DETAIL)			
BOULDERS	QTY	DESCRIPTION			
	20	3' x 2' x 1.5' PROPOSED BOULDERS (SEE DETAIL) SUBMIT PICTURES & DIMENSIONS PRIOR TO INSTALLATION			
	43	2' x 1.5' x 1' PROPOSED BOULDERS (SEE DETAIL) SUBMIT PICTURES & DIMENSIONS PRIOR TO INSTALLATION			
LIGHTING	QTY	DESCRIPTION			
	30	TREE UP-LIGHT BY LUMINAIRE MODEL KG-3LED-SB			



CITY LANDSCAPE REQUIREMENTS

GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPING FOR FOLLOWING AREAS SHALL PROVIDE A COMBINATION OF DECIDUOUS, ORNAMENTAL TREES AND SHRUBS.

LANDSCAPING REQUIRED FOR OPEN YARD AREAS:

A MINIMUM OF ONE (1) EVERGREEN OR DECIDUOUS TREES PER ONE THOUSAND (1,000) SF OF OPEN YARD AREA.
TWO (2) ORNAMENTAL TREES OR TWO (2) SHRUBS SHALL EQUAL ONE (1) EVERGREEN OR DECIDUOUS TREE.
OPEN YARD 22,1874 SF / 1,000 SF = 22 TREES OR 44 SHRUBS REQUIRED / 6 TREES AND 32 SHRUBS PROVIDED

LANDSCAPING REQUIRED FOR BUILDING FOUNDATIONS:

A MINIMUM OF ONE (1) ORNAMENTAL TREE PER TWENTY (20) FEET OF BUILDING FOUNDATION.
TWO (2) SHRUBS SHALL EQUAL ONE (1) ORNAMENTAL TREE.

LANDSCAPING SHALL BE LOCATED WITHIN TEN (10) FEET OF THE BUILDING.

- BUILDING PERIMETER 360 LF / 20 LF = 18 TREES OR 36 SHRUBS REQUIRED / 36 SHRUBS PROVIDED

LANDSCAPING REQUIRED FOR STREET FRONTAGE:

A MINIMUM OF ONE (1) EVERGREEN OR DECIDUOUS TREES PER FIFTY (50) FEET IF STREET FRONTAGE
TWO (2) ORNAMENTAL TREES OR TWO (2) SHRUBS SHALL EQUAL ONE (1) EVERGREEN OR DECIDUOUS TREE.

- STREET FRONTAGE 569 LF / 50 LF = 11 TREES OR 22 SHRUBS REQUIRED / 5 DECIDUOUS TREES, 2 ORNAMENTAL AND 10 SHRUBS PROVIDED

LANDSCAPING REQUIRED FOR PARKING AREAS:

A MINIMUM OF ONE (1) EVERGREEN OR DECIDUOUS TREES PER TWENTY FIVE (25) FEET OF PARKING PERIMETER.
TWO (2) ORNAMENTAL TREES OR FOUR (4) SHRUBS SHALL EQUAL ONE (1) EVERGREEN OR DECIDUOUS TREE.

- PARKING PERIMETER 495 LF / 25 LF = 20 TREES OR 80 SHRUBS REQUIRED / 2 TREES AND 72 SHRUBS PROVIDED

LANDSCAPE REQUIREMENTS

PLANT TYPE	REQUIRED	TOTAL PROPOSED	SURPLUS
TREES	15	15	0
SHRUBS	150	158	8
GRASSES	0	43	43



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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

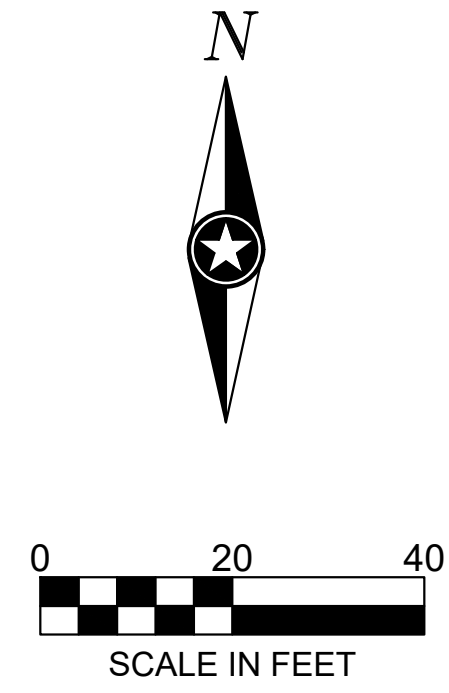
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DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

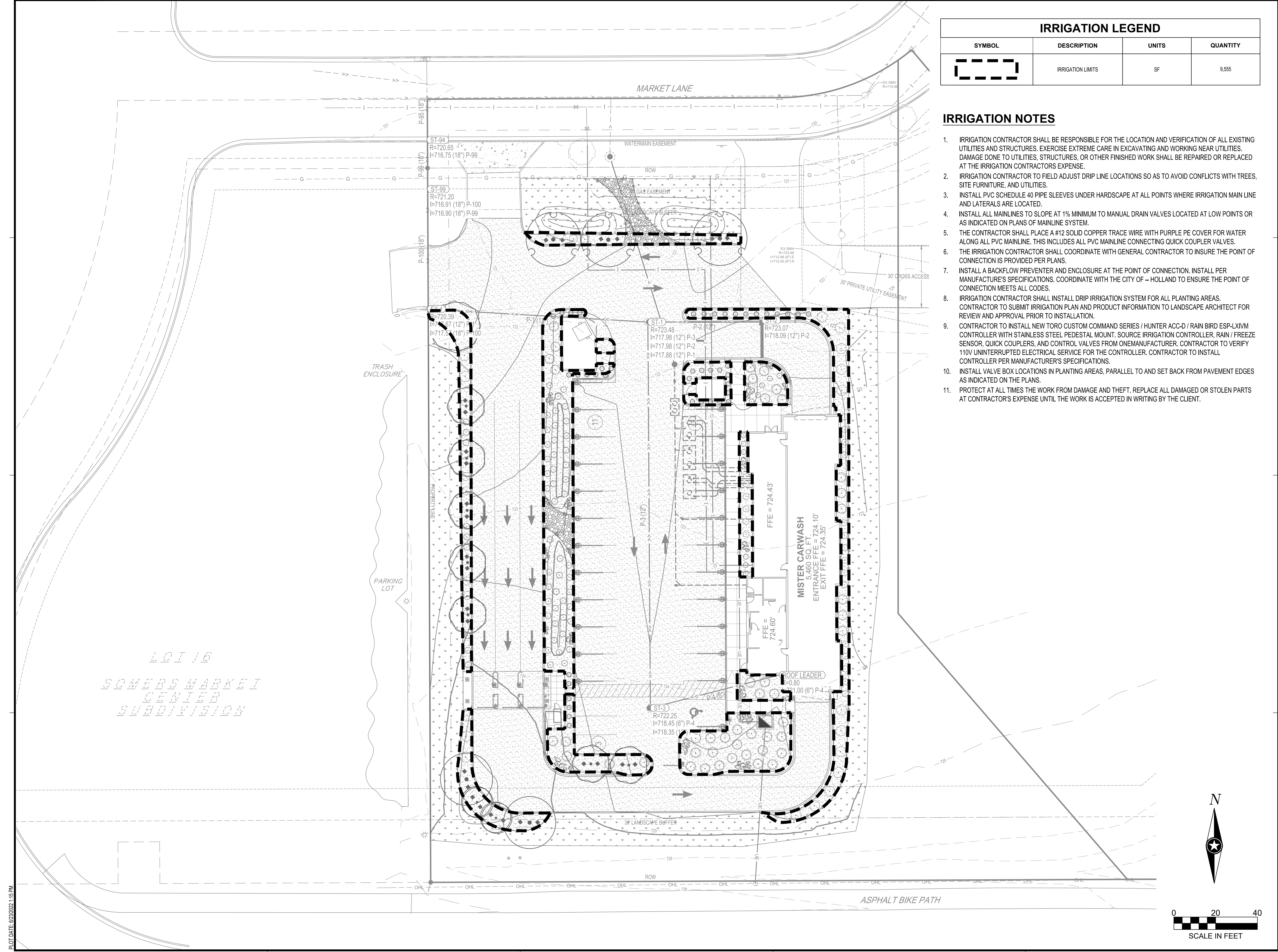
PROJECT NO.	22-26725
FILE NAME	26725 C5 - LANDSCAPE
DRAWN BY	AE
DESIGNED BY	AE
REVIEWED BY	DP

RESTORATION AND PLANTING PLAN

SHEET **C5-10**



PRELIMINARY NOT FOR CONSTRUCTION



IRRIGATION LEGEND			
SYMBOL	DESCRIPTION	UNITS	QUANTITY
	IRRIGATION LIMITS	SF	9,555

IRRIGATION NOTES

1. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND VERIFICATION OF ALL EXISTING UTILITIES AND STRUCTURES. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. DAMAGE DONE TO UTILITIES, STRUCTURES, OR OTHER FINISHED WORK SHALL BE REPAIRED OR REPLACED AT THE IRRIGATION CONTRACTOR'S EXPENSE.
2. IRRIGATION CONTRACTOR TO FIELD ADJUST DRIP LINE LOCATIONS SO AS TO AVOID CONFLICTS WITH TREES, SITE FURNITURE, AND UTILITIES.
3. INSTALL PVC SCHEDULE 40 PIPE SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
4. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OR AS INDICATED ON PLANS OF MAINLINE SYSTEM.
5. THE CONTRACTOR SHALL PLACE A #12 SOLID COPPER TRACE WIRE WITH PURPLE PE COVER FOR WATER ALONG ALL PVC MAINLINE. THIS INCLUDES ALL PVC MAINLINE CONNECTING QUICK COUPLER VALVES.
6. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO INSURE THE POINT OF CONNECTION IS PROVIDED PER PLANS.
7. INSTALL A BACKFLOW PREVENTER AND ENCLOSURE AT THE POINT OF CONNECTION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH THE CITY OF - HOLLAND TO ENSURE THE POINT OF CONNECTION MEETS ALL CODES.
8. IRRIGATION CONTRACTOR SHALL INSTALL DRIP IRRIGATION SYSTEM FOR ALL PLANTING AREAS. CONTRACTOR TO SUBMIT IRRIGATION PLAN AND PRODUCT INFORMATION TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
9. CONTRACTOR TO INSTALL NEW TORO CUSTOM COMMAND SERIES / HUNTER ACC-D / RAIN BIRD ESP-LXIVM CONTROLLER WITH STAINLESS STEEL PEDESTAL MOUNT. SOURCE IRRIGATION CONTROLLER, RAIN / FREEZE SENSOR, QUICK COUPLERS, AND CONTROL VALVES FROM ONE MANUFACTURER. CONTRACTOR TO VERIFY 110V UNINTERRUPTED ELECTRICAL SERVICE FOR THE CONTROLLER. CONTRACTOR TO INSTALL CONTROLLER PER MANUFACTURER'S SPECIFICATIONS.
10. INSTALL VALVE BOX LOCATIONS IN PLANTING AREAS, PARALLEL TO AND SET BACK FROM PAVEMENT EDGES AS INDICATED ON THE PLANS.
11. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE CLIENT.



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PROJECT		
MISTER CARWASH SOMERS		
SOMERS		WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26725
FILE NAME	26725 C5 - LANDSCAPE
DRAWN BY	AE
DESIGNED BY	AE
REVIEWED BY	DP

TITLE

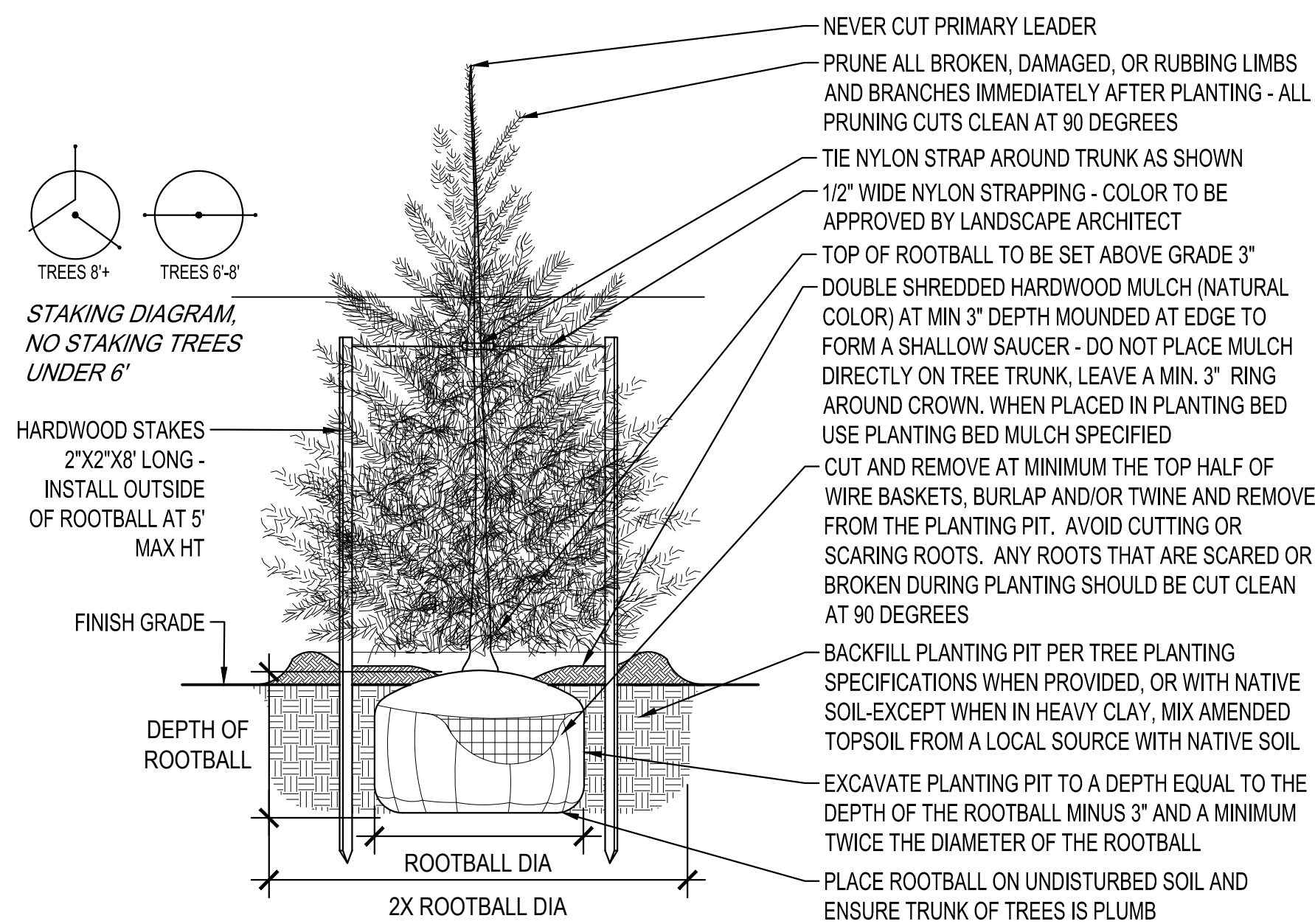
IRRIGATION PLAN

SHEET

C5-20

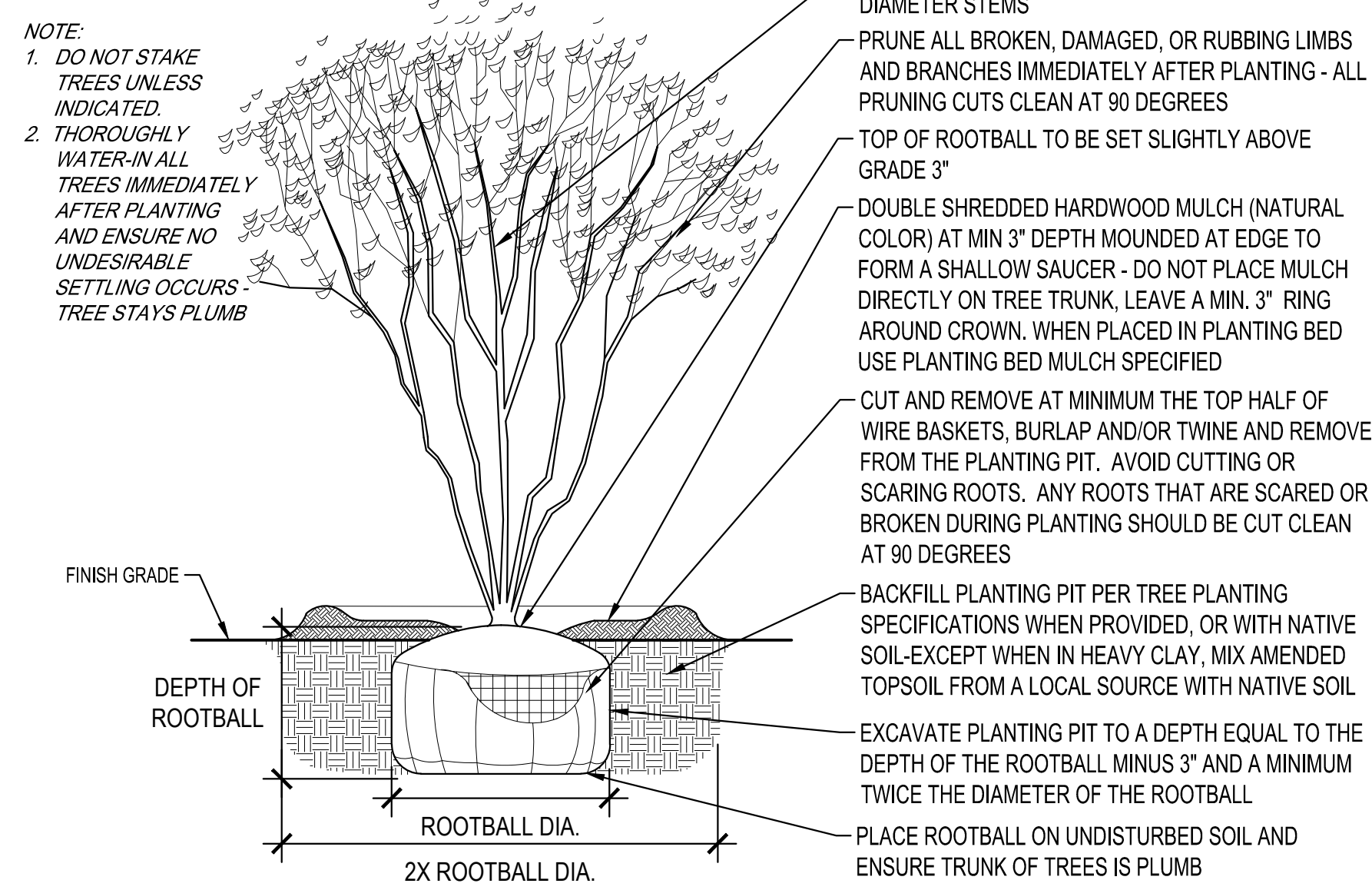
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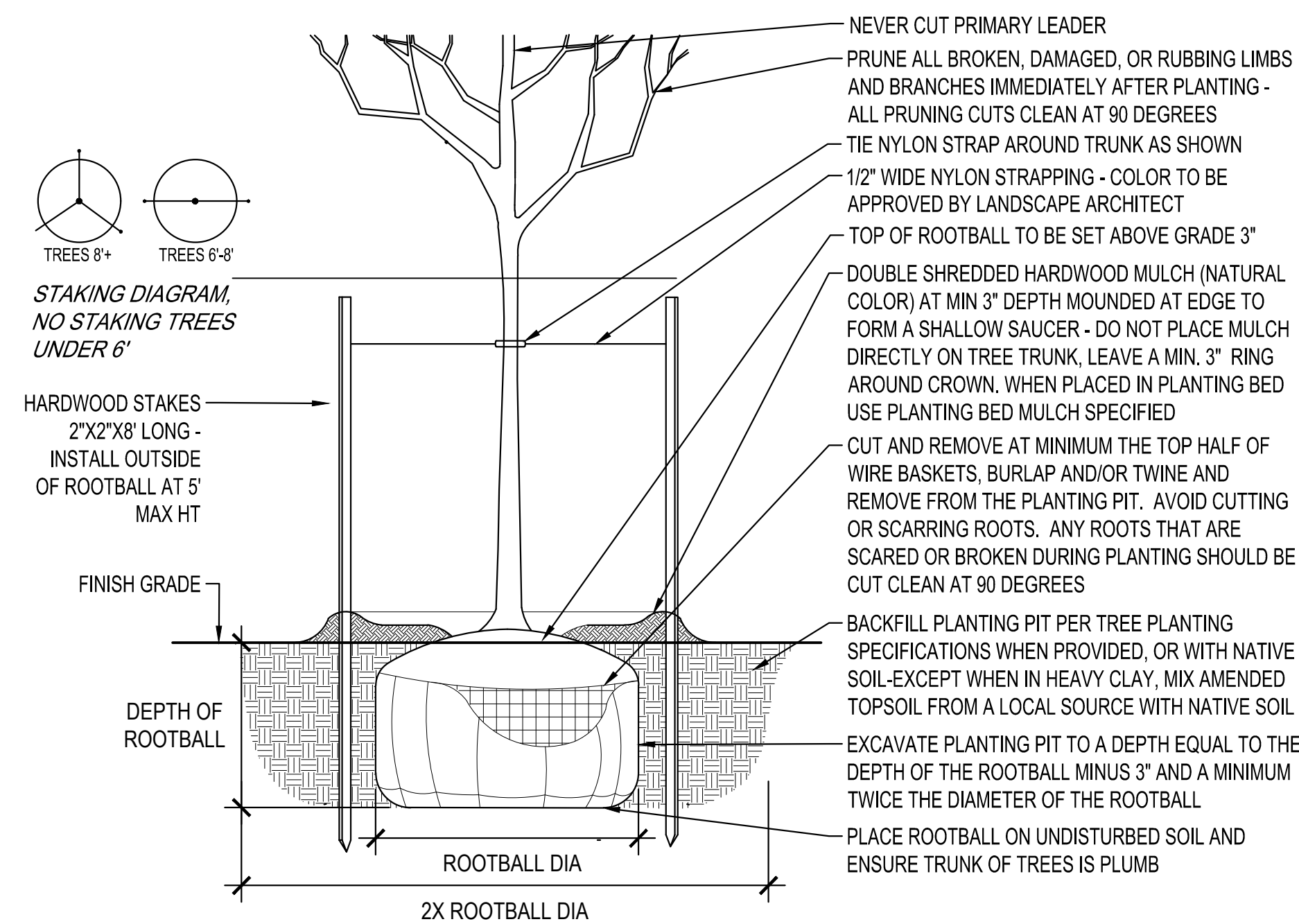
CONIFER / EVERGREEN TREE PLANTING DETAIL

NTS



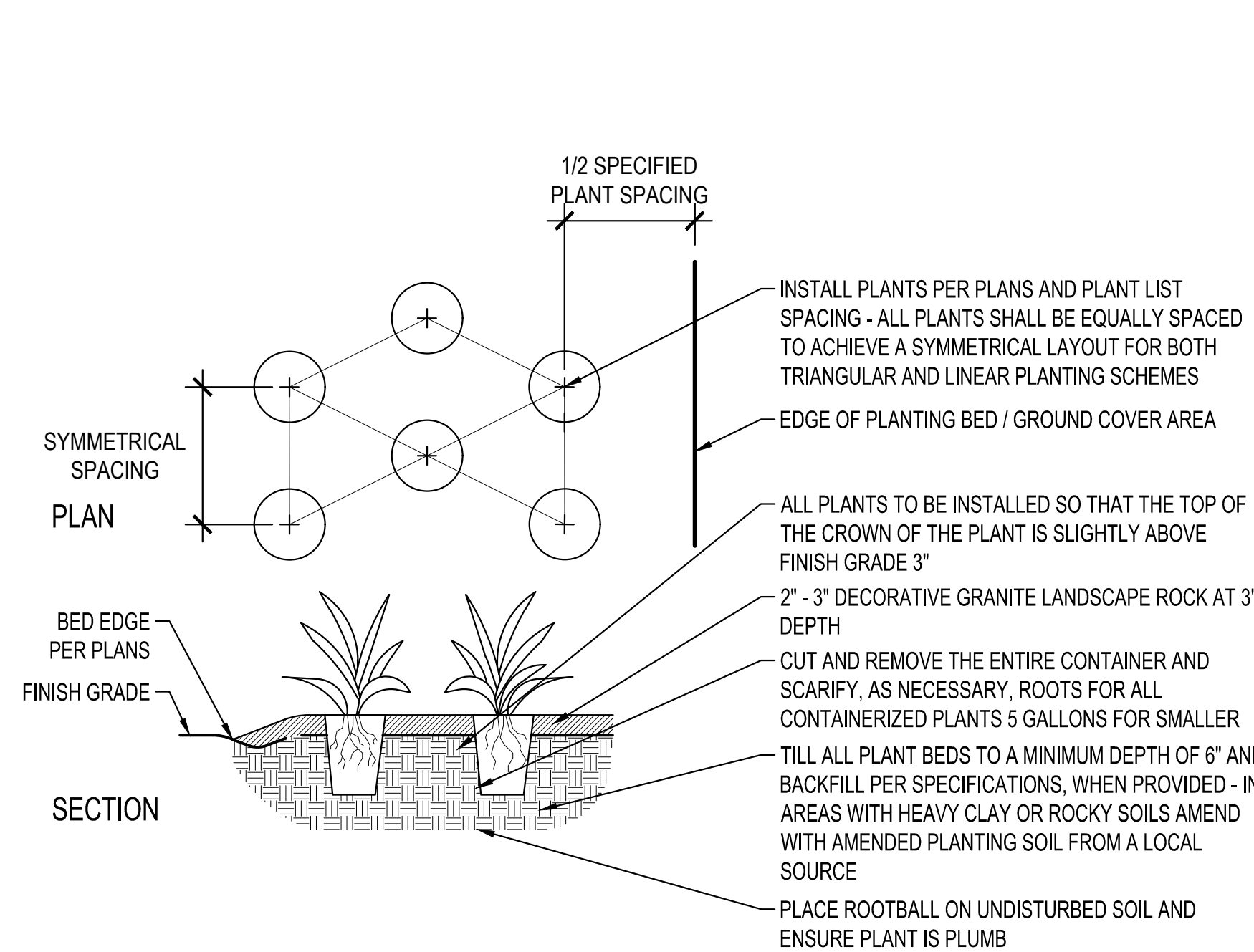
MULTI-STEM TREE PLANTING DETAILS

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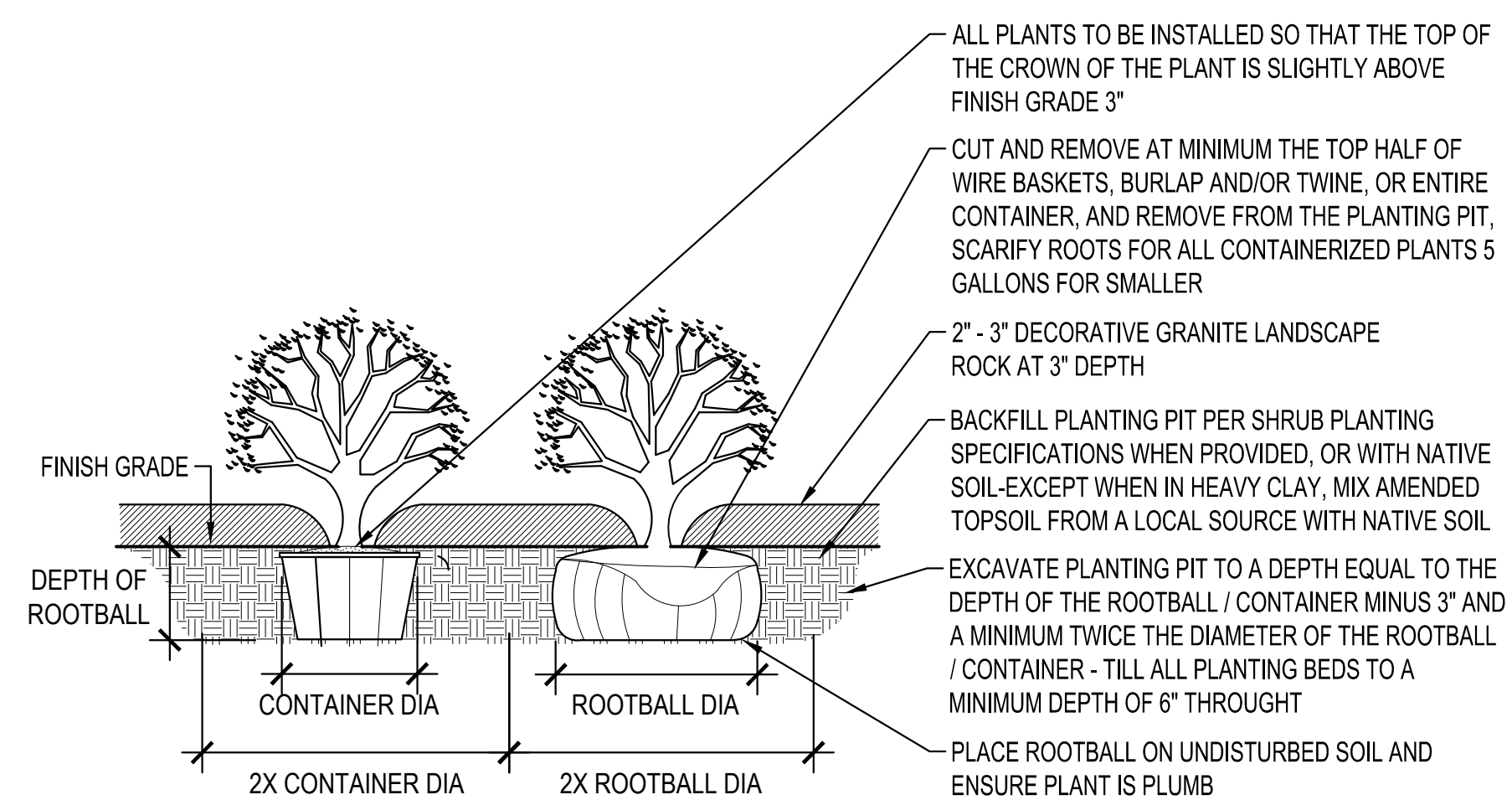
DECIDUOUS TREE PLANTING DETAIL

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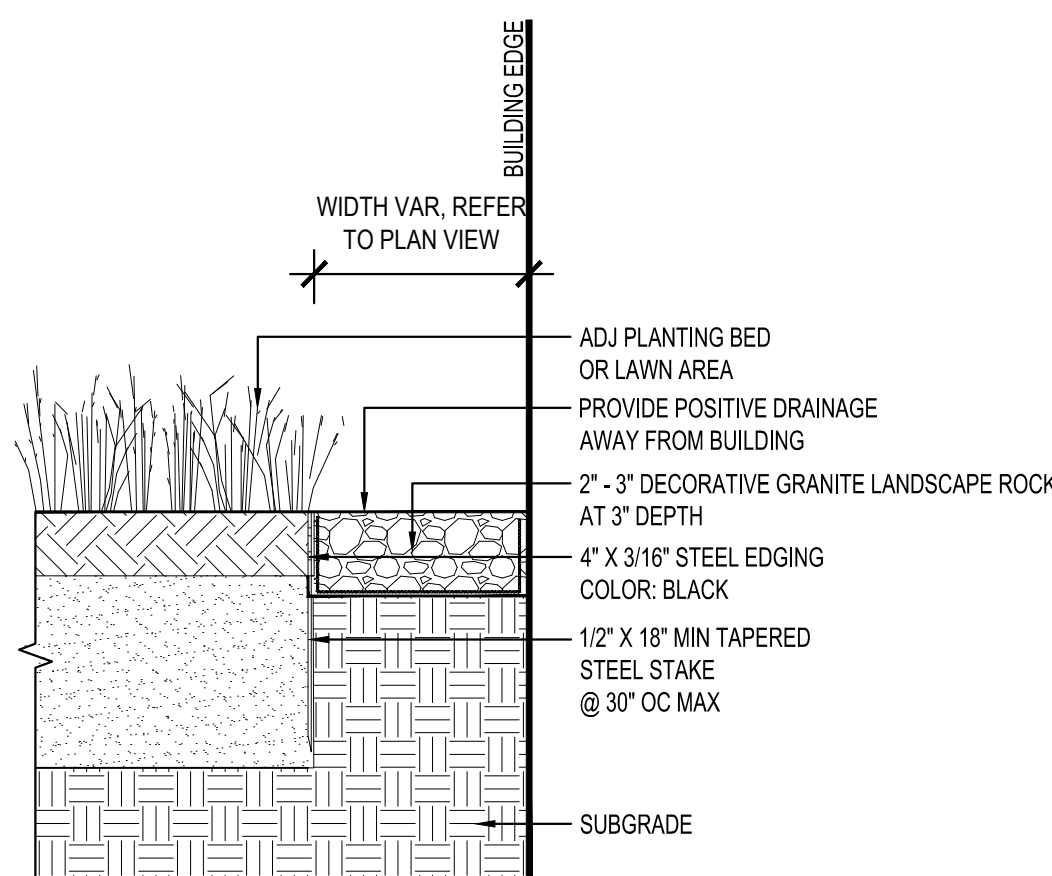
PERENNIAL PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS



MAINTENANCE EDGE AT BUILDING

NTS

PLANTING NOTES

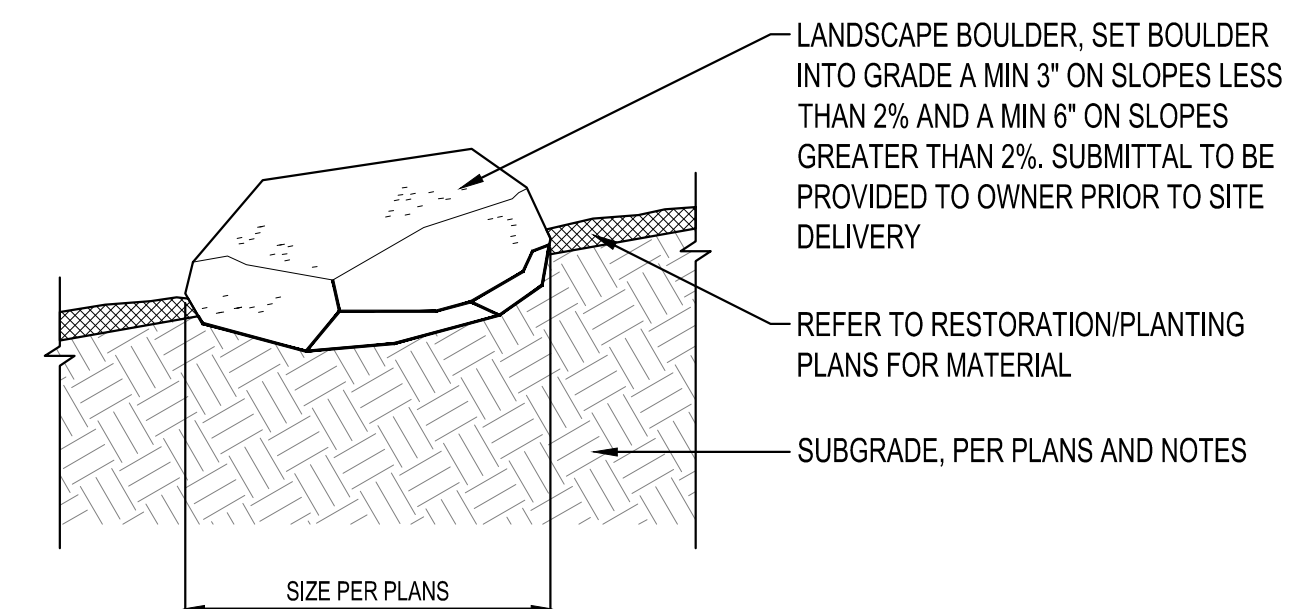
- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- TOPSOIL SHALL MEET WISDOT SPECIFICATION 625 TOPSOIL AND SALVAGED TOPSOIL SPECIFICATIONS. TOPSOIL SHALL CONSIST OF LOAM, SANDY LOAM, SILT LOAM, SILT CLAY LOAM, OR CLAY LOAM HUMUS-BEARING SOILS ADAPTED TO SUSTAIN PLANT LIFE. ENSURE THIS TOPSOIL IS IN A PH RANGE OF 6.0-7.5 WITH NO LESS THAN 3 PERCENT SOIL ORGANIC MATTER.
- REFER TO PLANTING AND SITE DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE DOUBLE SHREDDED HARDWOOD MULCH (NATURAL COLOR) SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS A 2' - 3" DECORATIVE LANDSCAPE ROCK AT (GRAY COLOR) 3" MINIMUM DEPTH WITH NON WOVEN LANDSCAPE FABRIC AS SHOWN IN TREE PLANTING DETAIL. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- MULCHING MATERIAL SHALL BE DOUBLE SHREDDED HARDWOOD MULCH (NATURAL COLOR), WITH NO INDIVIDUAL PIECES LARGER THAN 3", FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS, 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
- TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SODED IF NOT INDICATED ON THE PLANS AS ANOTHER SURFACE.
- CONTRACTOR SHALL PROVIDE SAMPLE OF SHREDDED HARDWOOD MULCH TO BE APPROVED BY OWNER AND ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.

NOTES:

ALL BOULDERS SHALL BE FREE OF SHARP EDGES AND SURFACES THAT COULD BE HARMFUL TO PEDESTRIANS. FLAT SIDE OF BOULDER TO BE PLACED UPWARDS.

BOULDERS TO BE LOCALLY SOURCED FIELDSTONE BOULDERS. SUBMIT PICTURES AND DIMENSIONS PRIOR TO INSTALLATION TO LANDSCAPE ARCHITECT.

GENERAL BOULDER SIZES:
31% 3' X 2' X 1.5'
69% 2' X 1.5' X 1'



LANDSCAPE BOULDERS

NTS



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PROJECT

MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26725
FILE NAME	26725 C5 - LANDSCAPE
DRAWN BY	AE
DESIGNED BY	AE
REVIEWED BY	DP

TITLE

PLANTING NOTES AND DETAILS

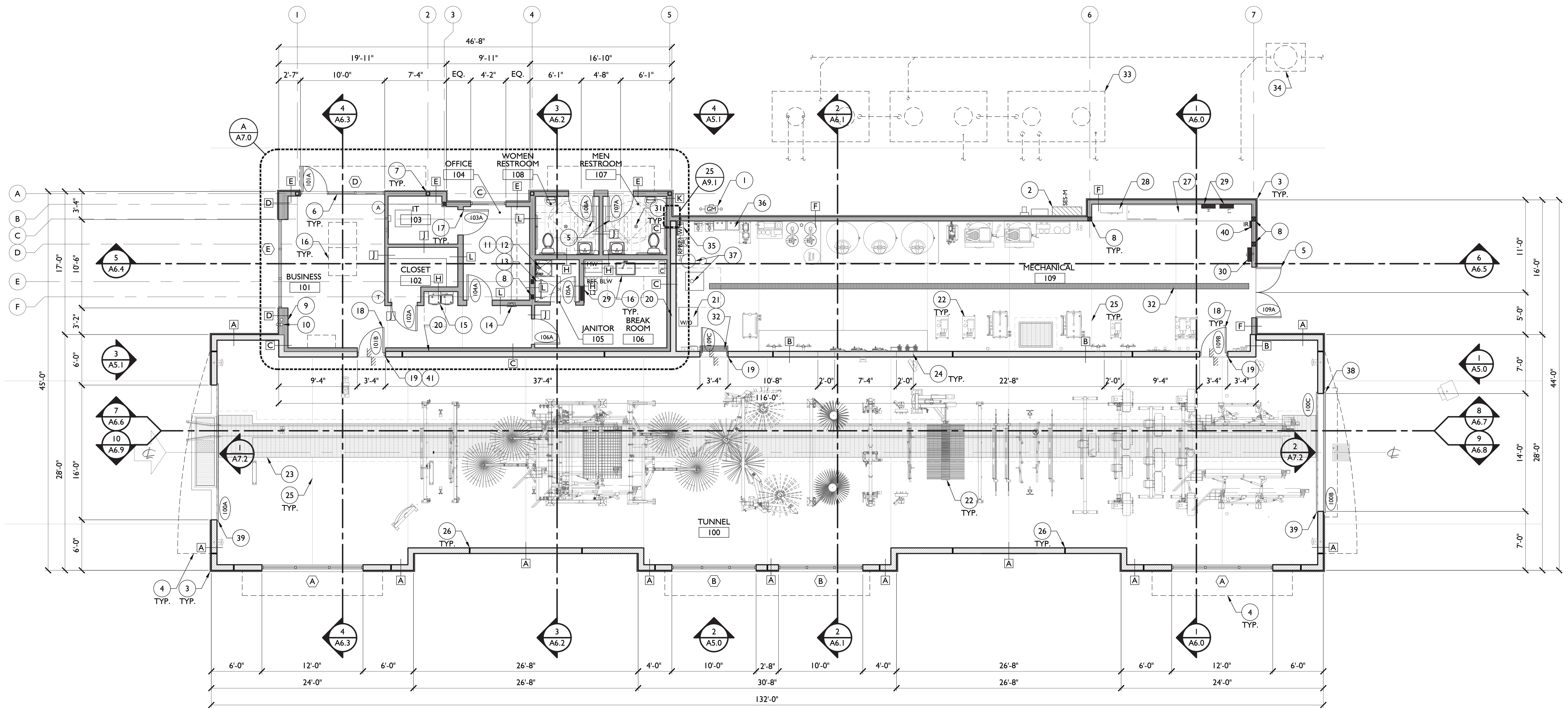
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C5-30

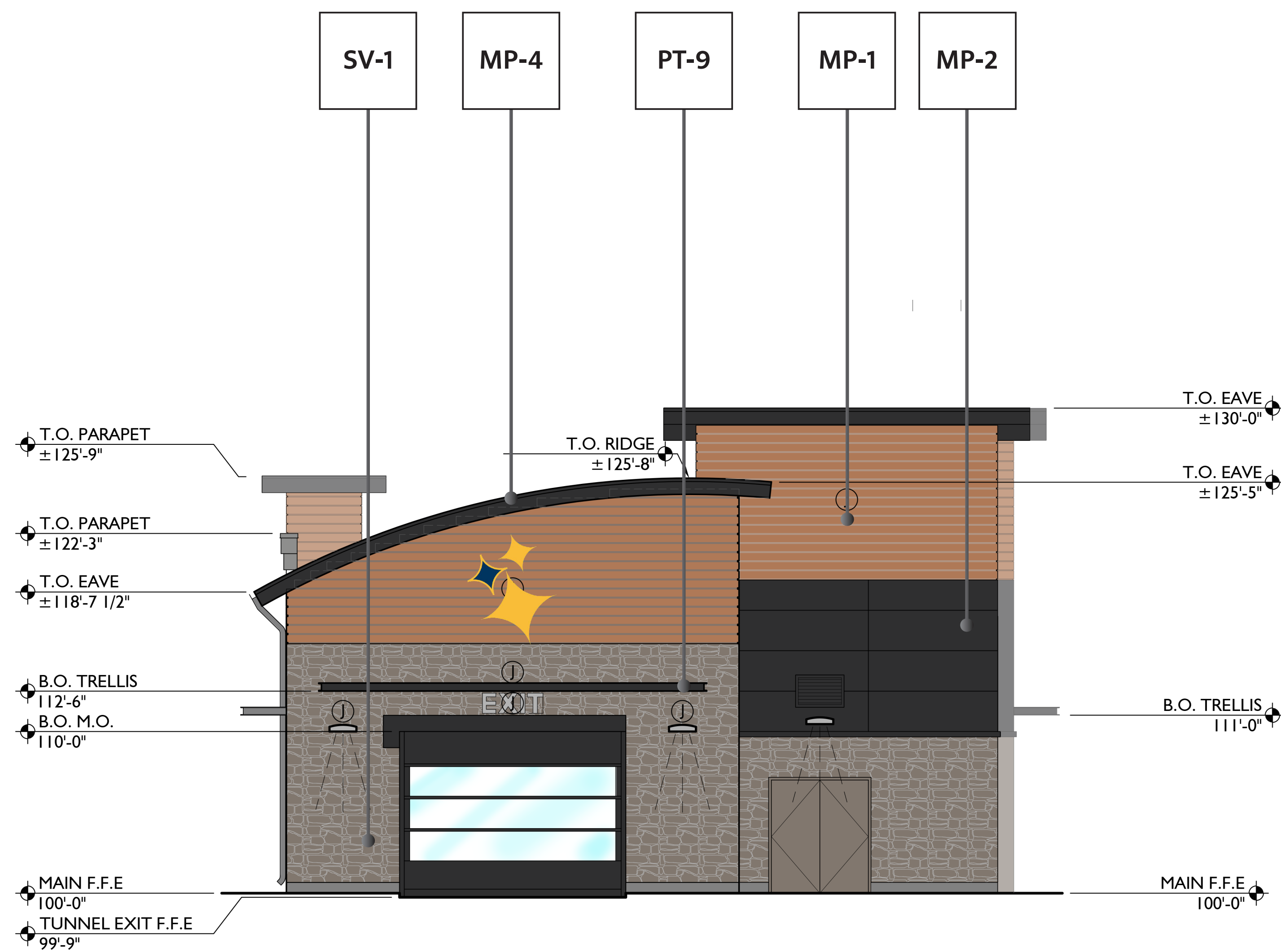


August 2, 2022

Mister Car Wash WI 1481, 130C1
Elevations and Materials
A23 Studios #22085



1 **FLOOR PLAN**
3/16" = 1'



MATERIAL TAKE OFF

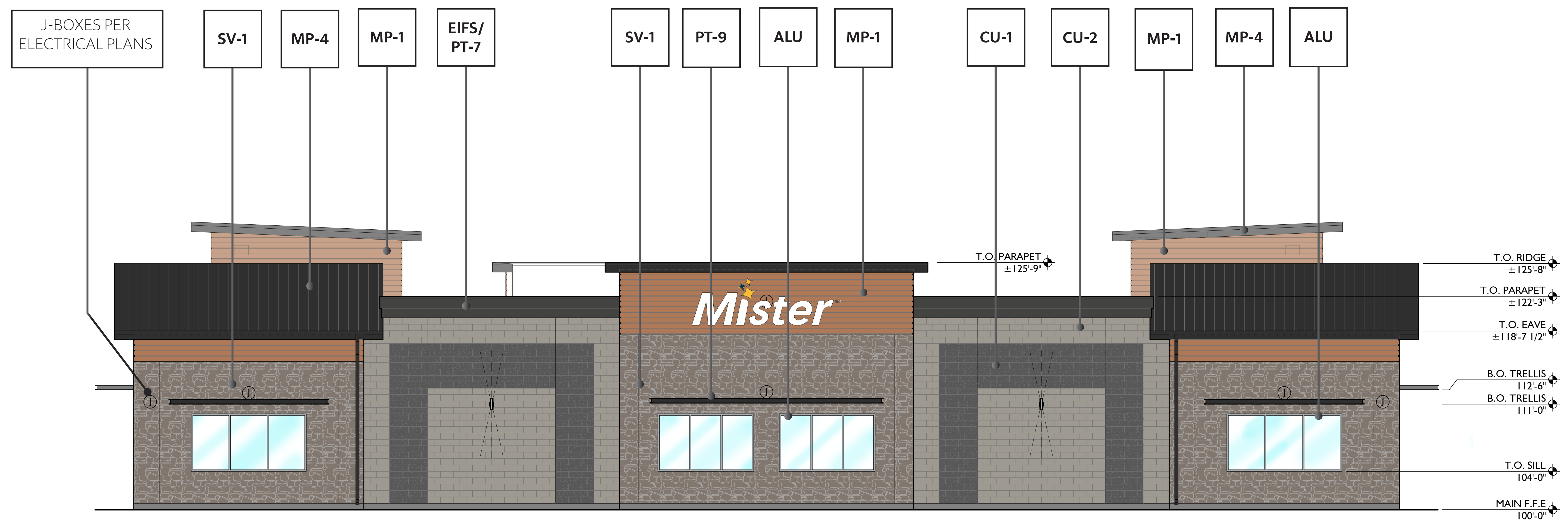
- Exterior Building Finishes - 8,885 sqft - 100%
- A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%
 - B. (ALU) Store Front and Glass - 511 sqft - 6%
 - C. (EIFS) EIFS - 1,609 sqft - 18%
 - D. (CU-1/2) CMU - 1,032 sqft - 12%
 - E. (MP-1) Alumaboard - 2,422 sqft - 27%
 - F. (MP-2) Metal Wall Panel - 798 sqft - 9%
 - G. Polycarbonate Overhead Doors - 312 sqft - 3%
 - H. Painted Hollow Metal Doors - 93 sqft - 1%

FINISH LEGEND

MP-2		METAL PANEL - ACM / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO PEPPERCORN SW7674
MP-4		METAL PANEL - PRE-FINISHED STANDING SEAM METAL ROOF / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528	ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO ACIER SW9170
SV-1		STONE VENEER - ELDORADO / LIMESTONE / YORK	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / PEPPERCORN SW 7674
PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / TRICORN BLACK SW 6528	EIFS		EXTERIOR INSULATION FINISHING SYSTEM
PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / ACIER SW 9170			

CAR WASH TUNNEL EXIT ELEVATION

3/16" = 1'



CAR WASH TUNNEL WALL ELEVATION

3/16" = 1'



MATERIAL TAKE OFF

- Exterior Building Finishes - 8,885 sqft - 100%
- A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%
 - B. (ALU) Store Front and Glass - 511 sqft - 6%
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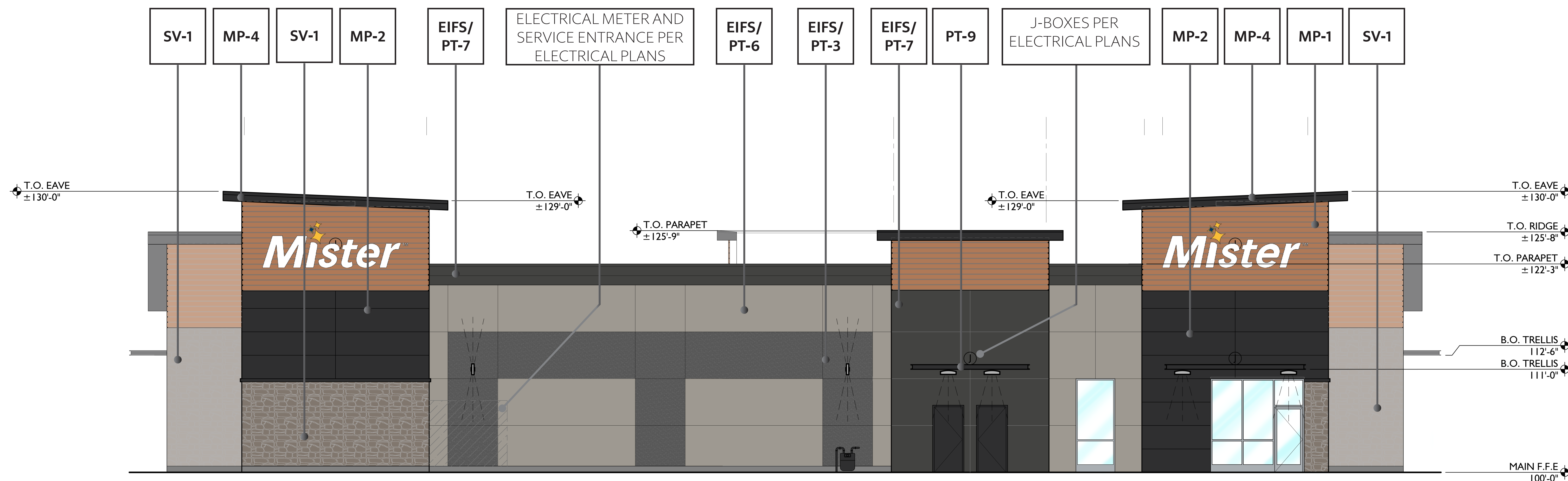
FINISH LEGEND

MP-2		METAL PANEL - ACM / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO PEPPERCORN SW7674
MP-4		METAL PANEL - PRE-FINISHED STANDING SEAM METAL ROOF / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528	ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO ACIER SW9170
SV-1		STONE VENEER - ELDORADO / LIMESTONE / YORK	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / PEPPERCORN SW 7674
PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / TRICORN BLACK SW 6528	EIFS		EXTERIOR INSULATION FINISHING SYSTEM
PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / ACIER SW 9170			

3

CAR WASH TUNNEL ENTRANCE

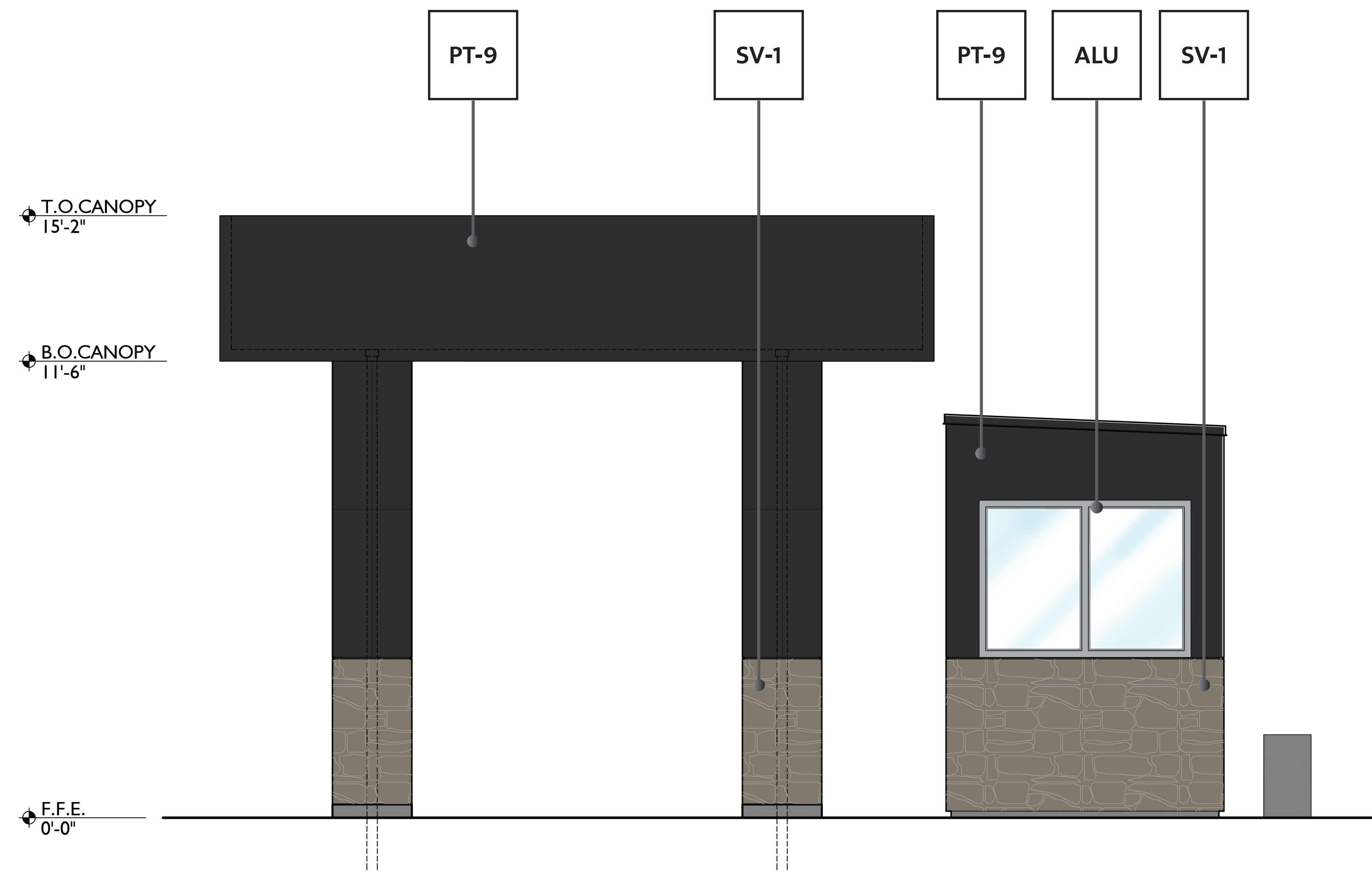
3/16" = 1'



4

BUSINESS/ MECHANICAL ELEVATION

3/16" = 1'



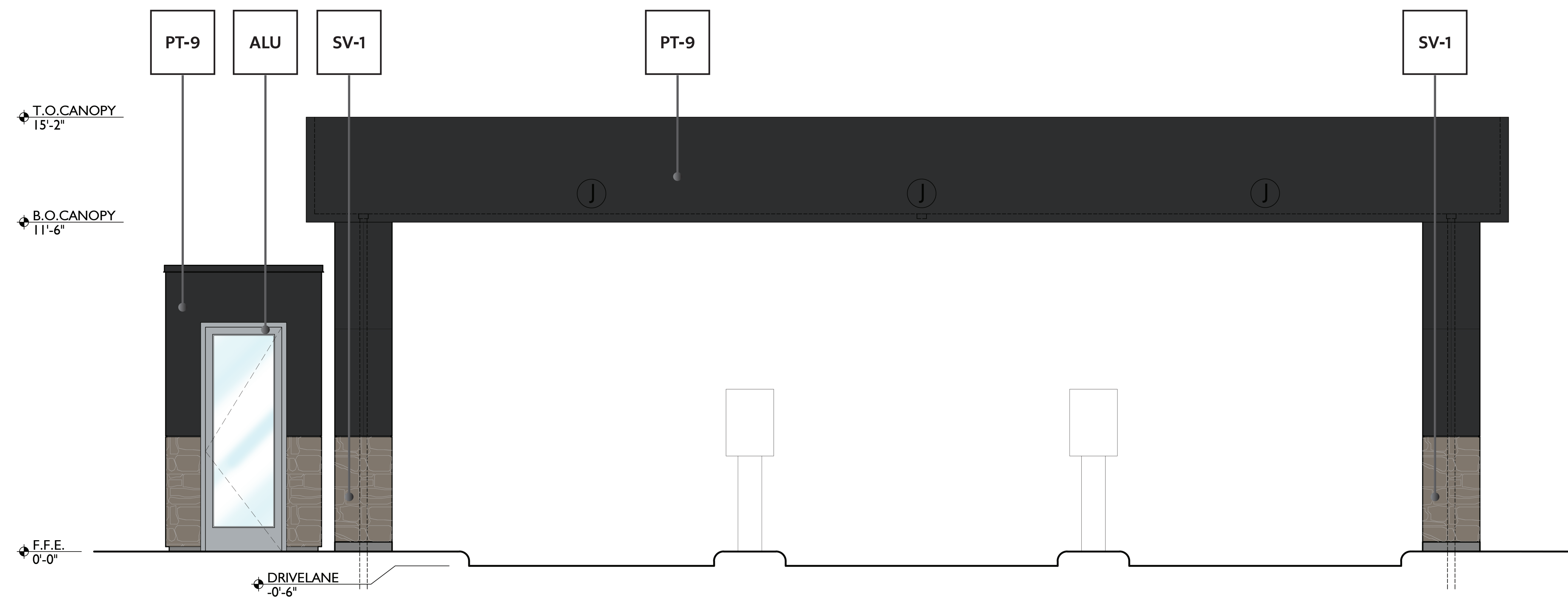
FINISH LEGEND

<p>MP-2 METAL PANEL - ACM / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528</p> <p>MP-4 METAL PANEL - PRE-FINISHED STANDING SEAM METAL ROOF / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528</p> <p>MP-1 METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN</p> <p>SV-1 STONE VENEER - ELDORADO / LIMESTONE / YORK</p> <p>PT-9 EXTERIOR PAINT - SHERWIN-WILLIAMS / TRICORN BLACK SW 6528</p> <p>PT-6 EXTERIOR PAINT - SHERWIN-WILLIAMS / ACIER SW 9170</p>	<p>CU-1 CMU (TEXTURED) - COLOR TO BE CLOSE TO PEPPERCORN SW7674</p> <p>ALU WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR</p> <p>CU-2 CMU (SMOOTH) - COLOR TO BE CLOSE TO ACIER SW9170</p> <p>PT-3 EXTERIOR PAINT - SHERWIN-WILLIAMS / PEPPERCORN SW 7674</p> <p>EIFS EXTERIOR INSULATION FINISHING SYSTEM</p>
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5

POS CANOPY SIDE ELEVATION

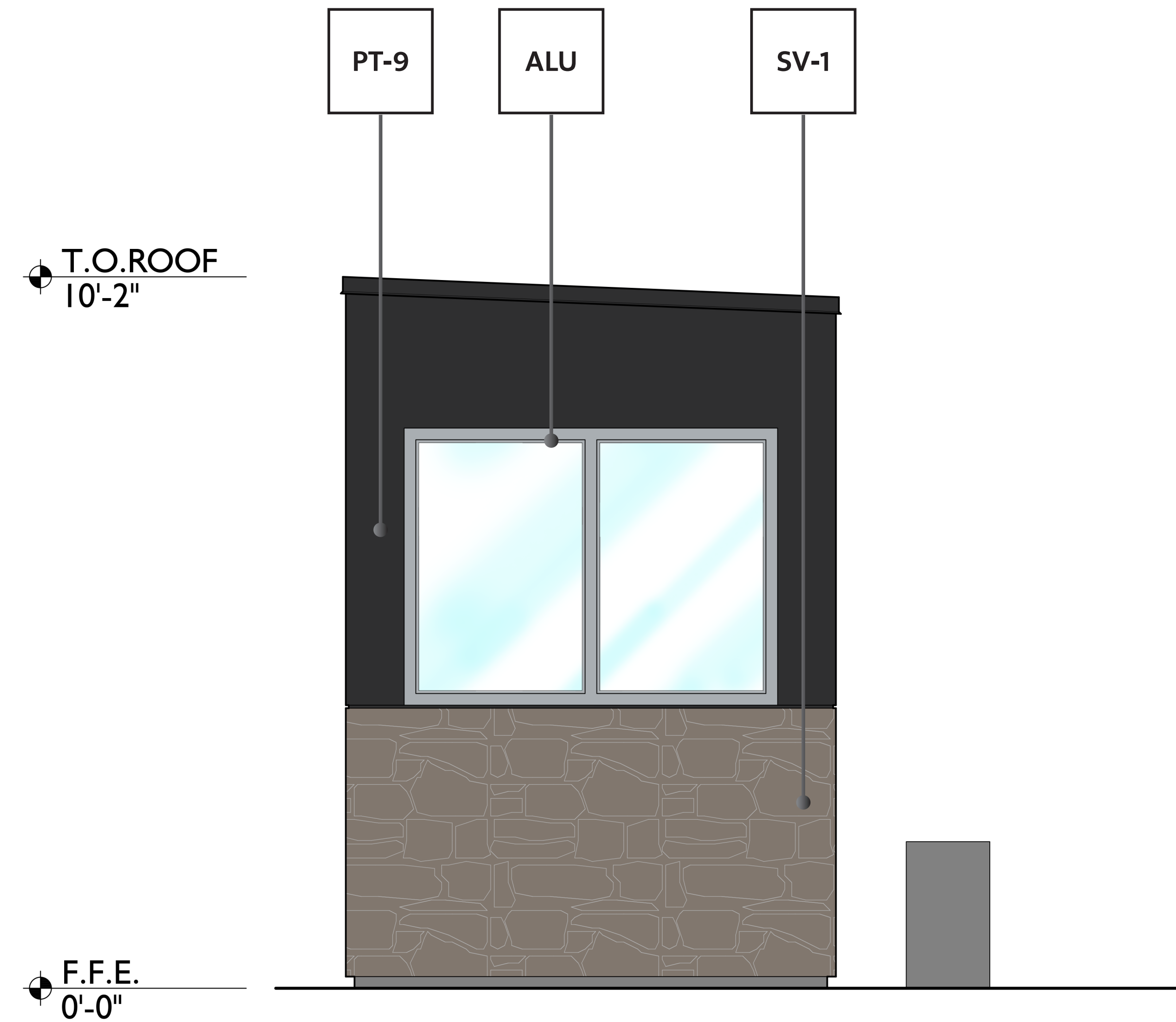
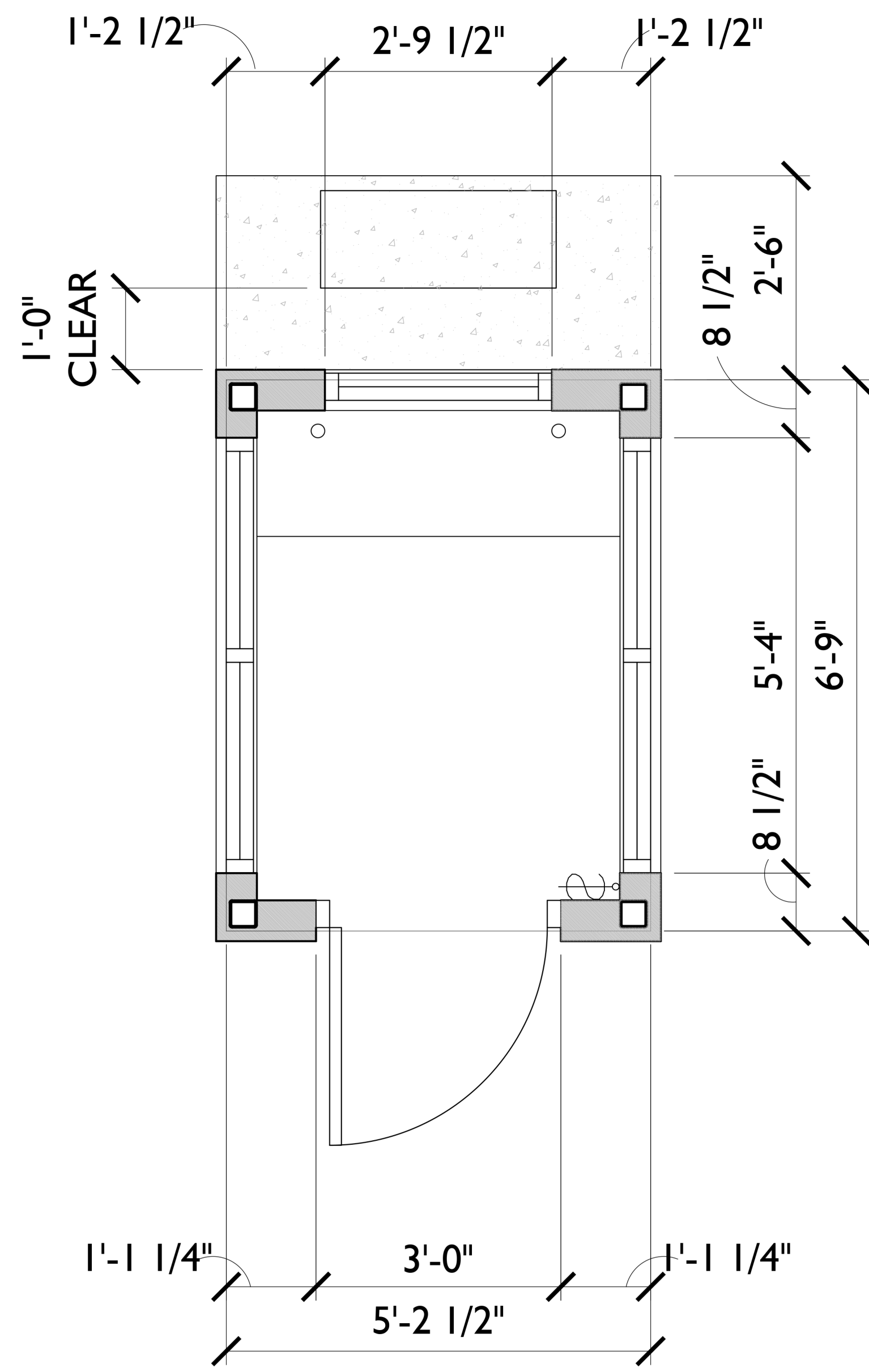
1/2" = 1'



6

POS CANOPY FRONT ELEVATION

1/2" = 1'



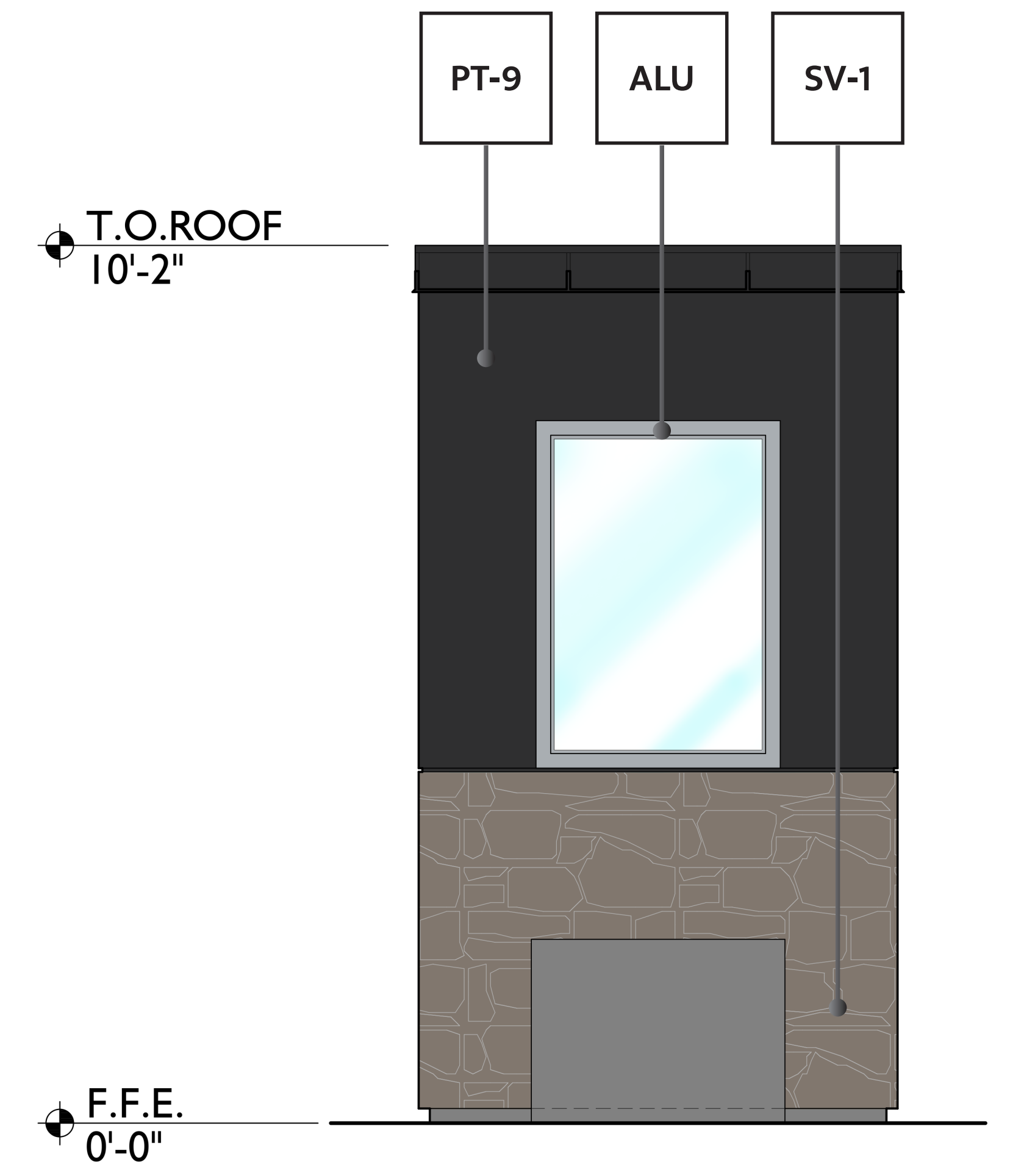
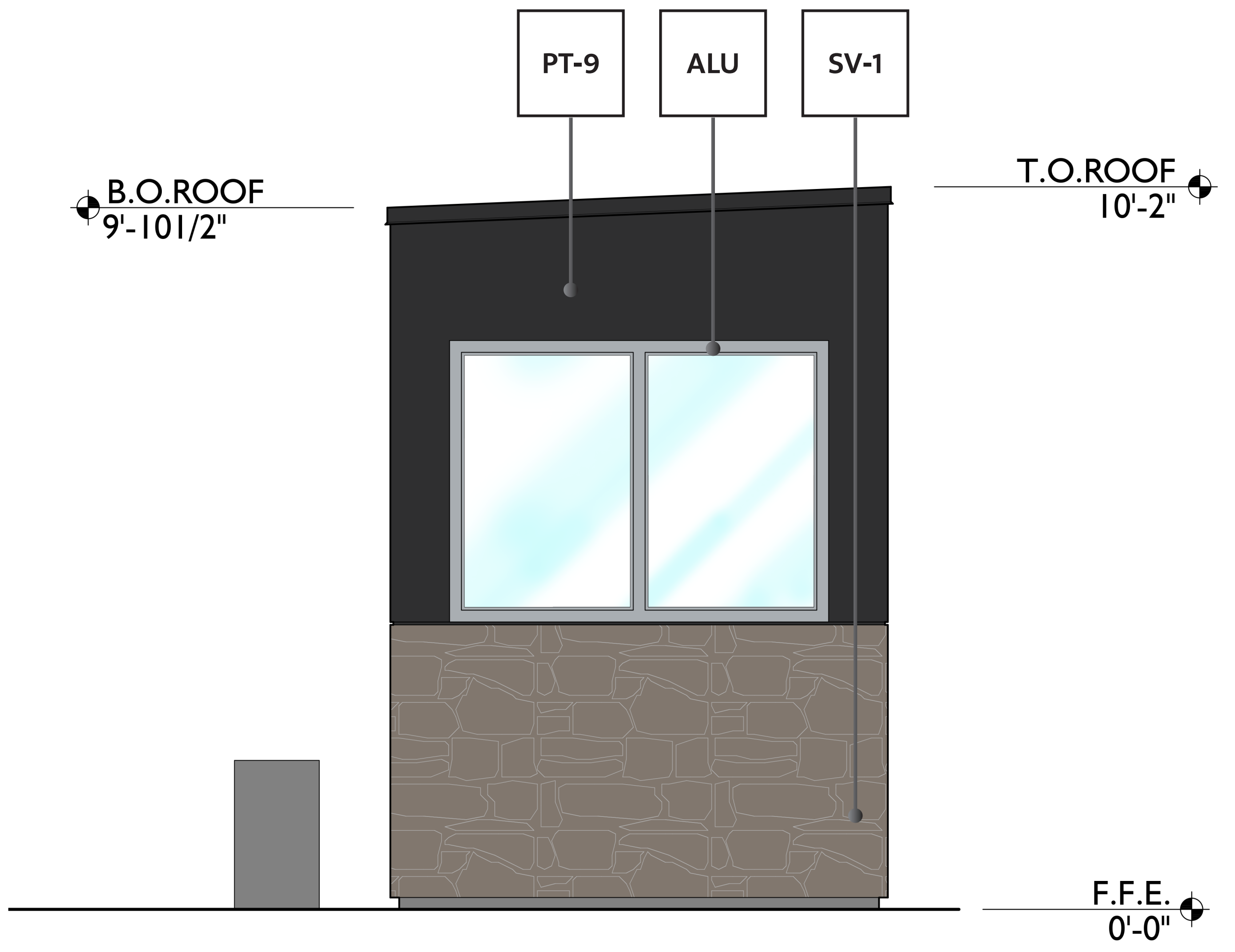
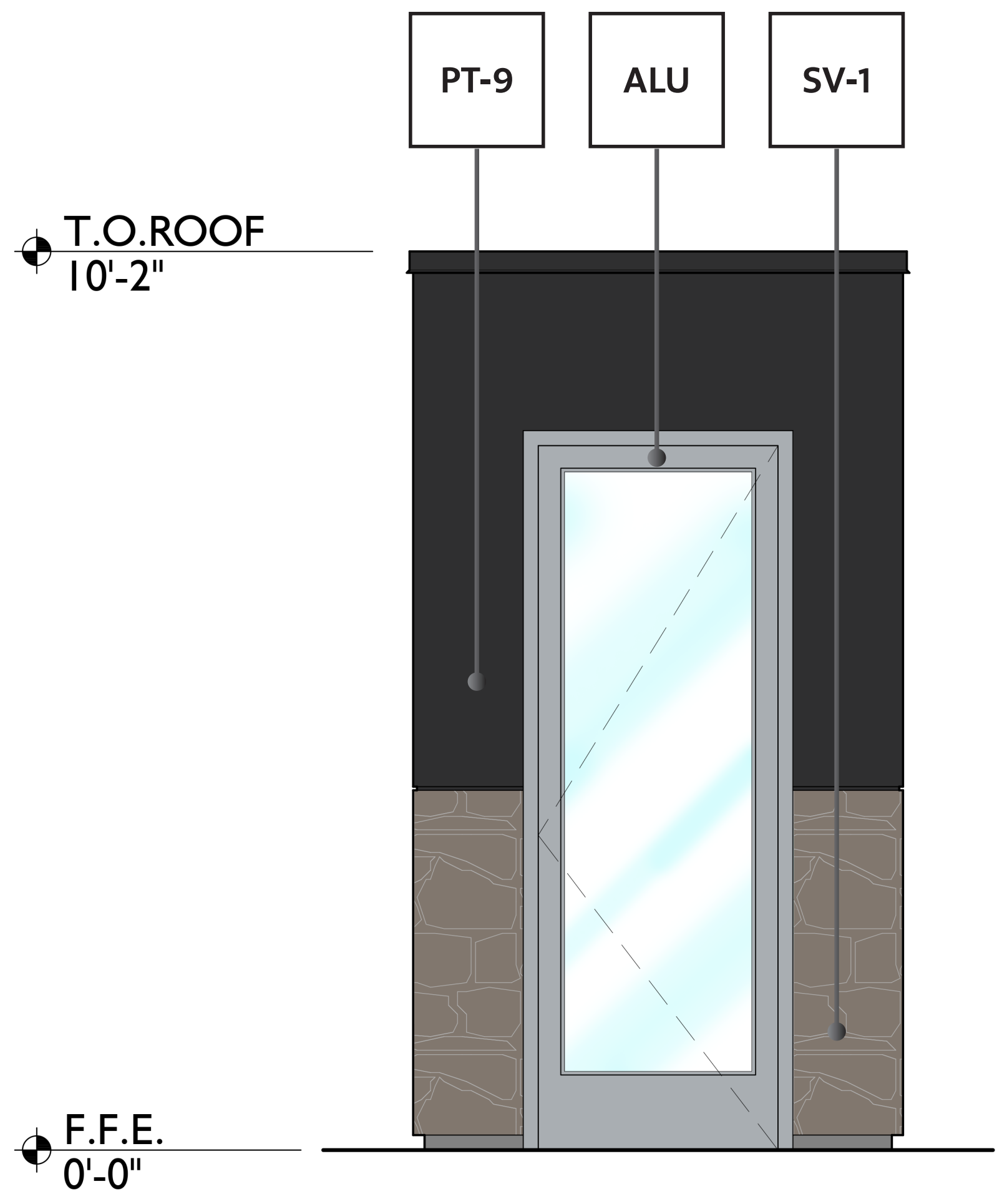
- MP-2** METAL PANEL - ACM / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528
- MP-4** METAL PANEL - PRE-FINISHED STANDING SEAM METAL ROOF / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528
- MP-1** METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN
- SV-1** STONE VENEER - ELDORADO / LIMESTONE / YORK
- PT-9** EXTERIOR PAINT - SHERWIN-WILLIAMS / TRICORN BLACK SW 6528
- PT-6** EXTERIOR PAINT - SHERWIN-WILLIAMS / ACIER SW 9170

FINISH LEGEND

- CU-1** CMU (TEXTURED) - COLOR TO BE CLOSE TO PEPPERCORN SW7674
- ALU** WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
- CU-2** CMU (SMOOTH) - COLOR TO BE CLOSE TO ACIER SW9170
- PT-3** EXTERIOR PAINT - SHERWIN-WILLIAMS / PEPPERCORN SW 7674
- EIFS** EXTERIOR INSULATION FINISHING SYSTEM

7 ATTENDANT SHELTER PLAN
3/4" = 1'

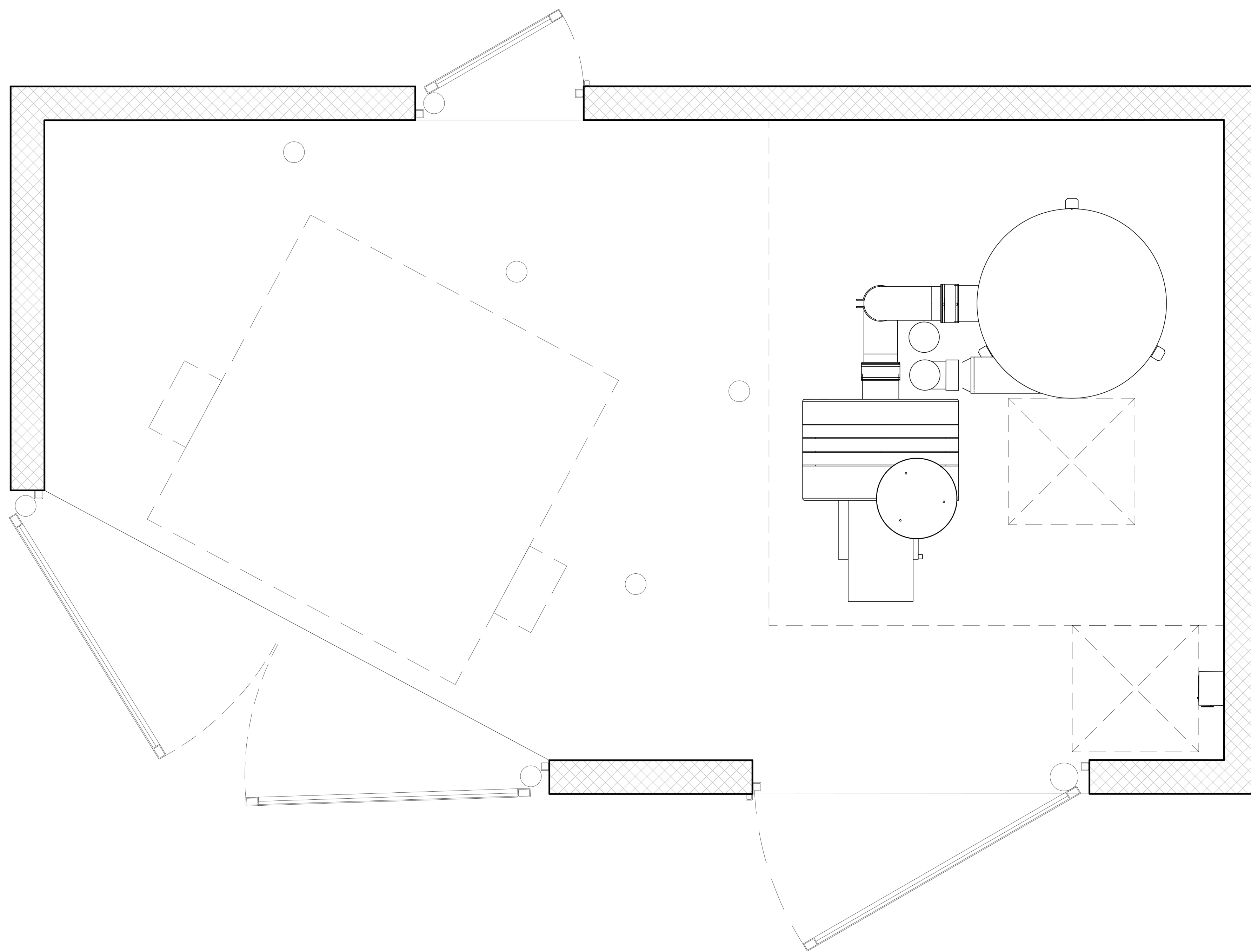
8 ATTENDANT SHELTER SIDE ELEVATION
3/4" = 1'



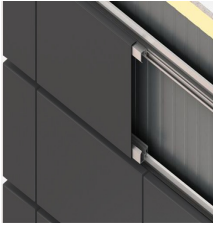
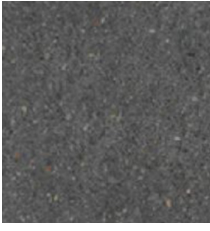
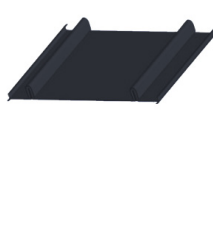
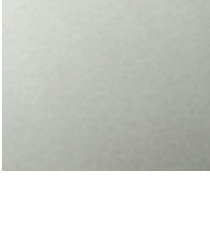
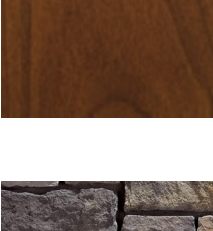
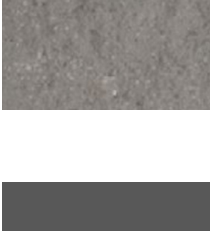
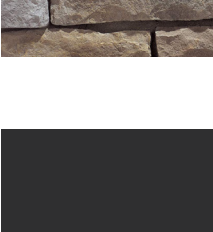
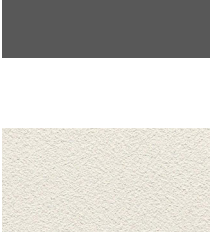



9 ATTENDANT SHELTER FRONT ELEVATION
3/4" = 1'

10 ATTENDANT SHELTER SIDE ELEVATION
3/4" = 1'

11 ATTENDANT SHELTER READ ELEVATION
3/4" = 1'



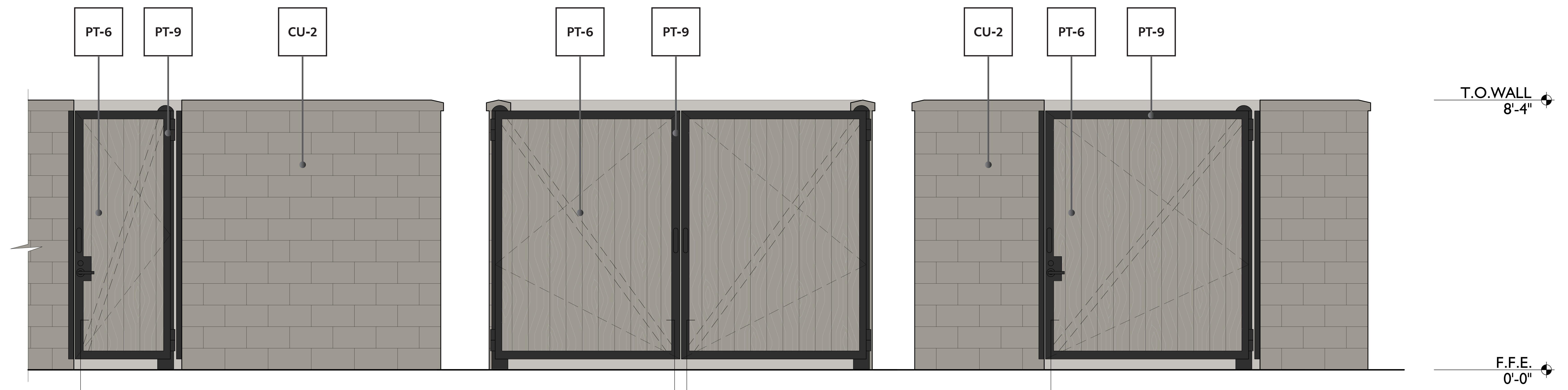
FINISH LEGEND

- | | | | | | |
|-------------|---|--|-------------|---|--|
| MP-2 |  | METAL PANEL - ACM / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528 | CU-1 |  | CMU (TEXTURED) - COLOR TO BE CLOSE TO PEPPERCORN SW7674 |
| MP-4 |  | METAL PANEL - PRE-FINISHED STANDING SEAM METAL ROOF / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528 | ALU |  | WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR |
| MP-1 |  | METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN | CU-2 |  | CMU (SMOOTH) - COLOR TO BE CLOSE TO ACIER SW9170 |
| SV-1 |  | STONE VENEER - ELDORADO / LIMESTONE / YORK | PT-3 |  | EXTERIOR PAINT - SHERWIN-WILLIAMS / PEPPERCORN SW 7674 |
| PT-9 |  | EXTERIOR PAINT - SHERWIN-WILLIAMS / TRICORN BLACK SW 6528 | EIFS |  | EXTERIOR INSULATION FINISHING SYSTEM |
| PT-6 |  | EXTERIOR PAINT - SHERWIN-WILLIAMS / ACIER SW 9170 | | | |

DUMPSTER AND VACUUM ENCLOSURE PLAN

12

3/4" = 1'-0"


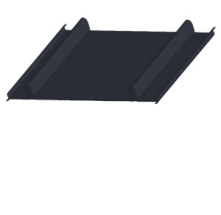
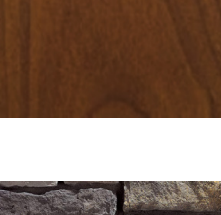
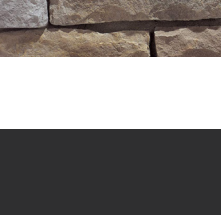


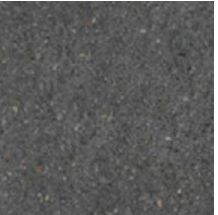
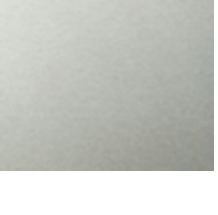
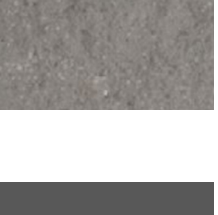
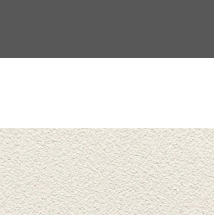
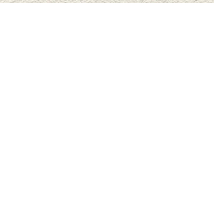


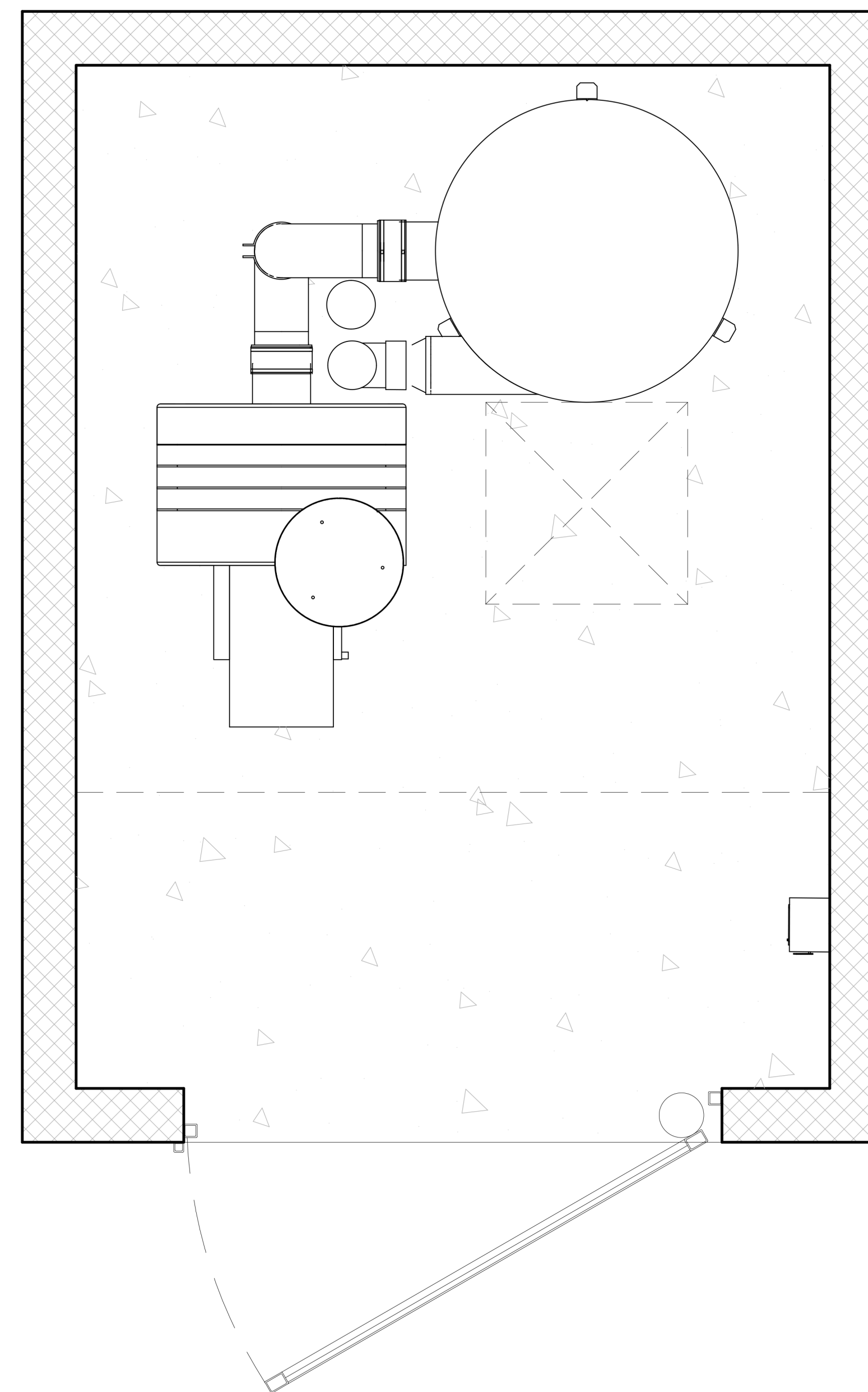
DUMPSTER AND VACUUM ENCLOSURE ELEVATIONS

13

3/4" = 1'-0"

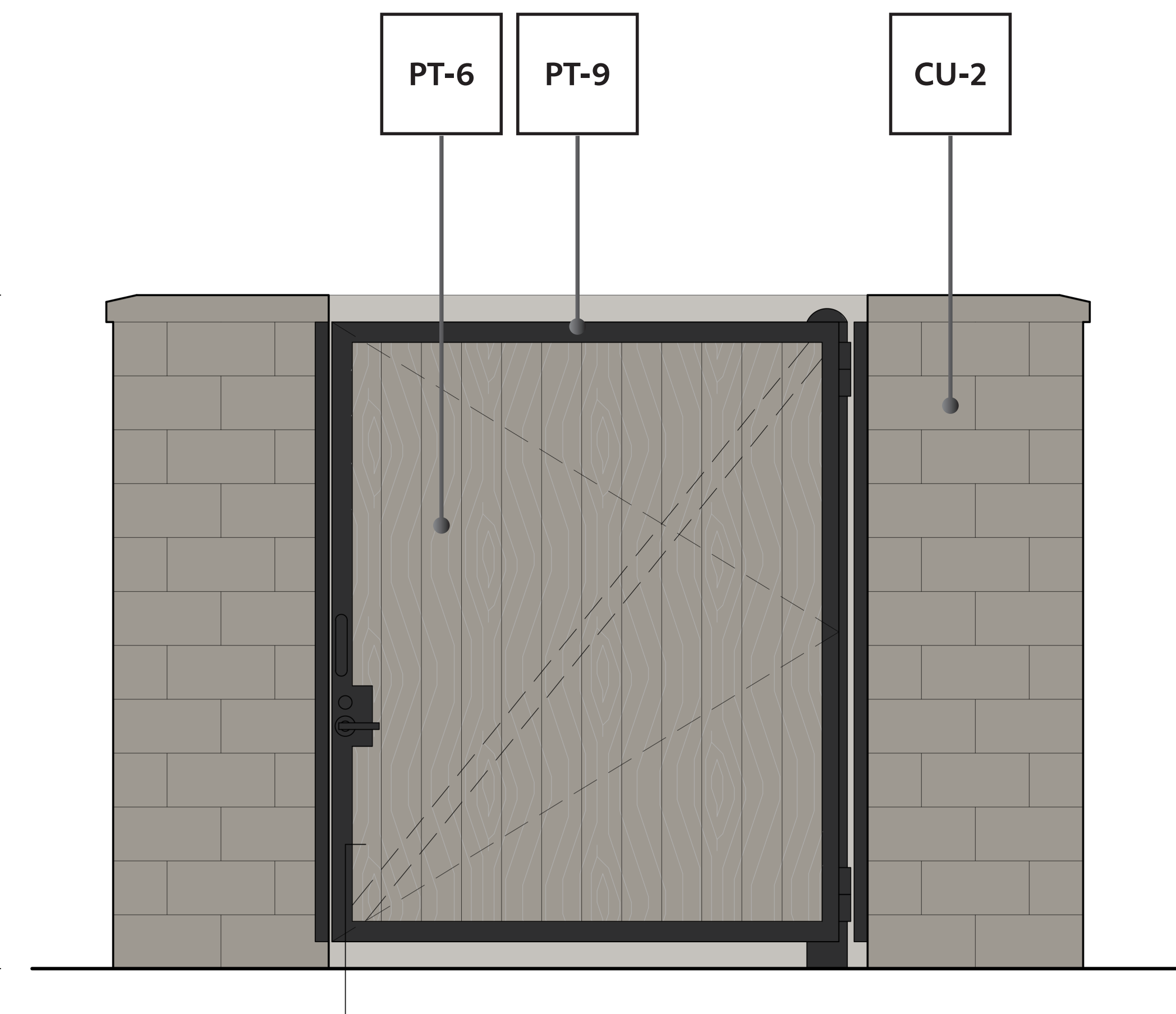
FINISH LEGEND

<p>MP-2  METAL PANEL - ACM / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528</p> <p>MP-4  METAL PANEL - PRE-FINISHED STANDING SEAM METAL ROOF / COLOR TO BE CLOSE TO TRICORN BLACK SW 6528</p> <p>MP-1  METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN</p> <p>SV-1  STONE VENEER - ELDORADO / LIMESTONE / YORK</p> <p>PT-9  EXTERIOR PAINT - SHERWIN-WILLIAMS / TRICORN BLACK SW 6528</p> <p>PT-6  EXTERIOR PAINT - SHERWIN-WILLIAMS / ACIER SW 9170</p>	<p>CU-1  CMU (TEXTURED) - COLOR TO BE CLOSE TO PEPPERCORN SW7674</p> <p>ALU  WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR</p> <p>CU-2  CMU (SMOOTH) - COLOR TO BE CLOSE TO ACIER SW9170</p> <p>PT-3  EXTERIOR PAINT - SHERWIN-WILLIAMS / PEPPERCORN SW 7674</p> <p>EIFS  EXTERIOR INSULATION FINISHING SYSTEM</p>
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T.O.WALL
8'-4"

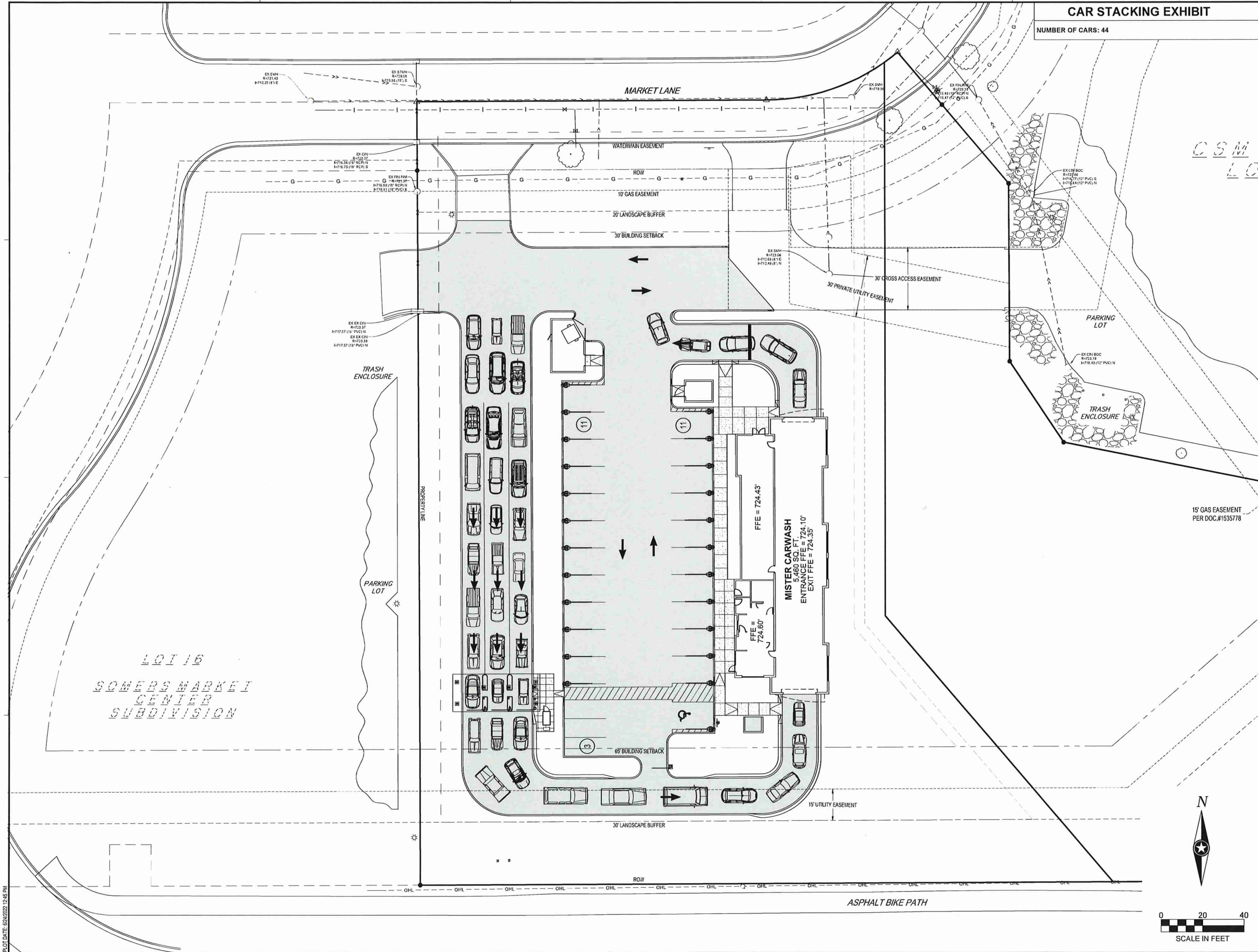
F.F.E.
0'-0"



14

VACUUM ENCLOSURE ELEVATIONS AND PLAN

3/4" = 1'-0"



CAR STACKING EXHIBIT
 NUMBER OF CARS: 44



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PROJECT
MISTER CARWASH SOMERS

SOMERS WISCONSIN

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26725
 FILE NAME 26725 STACKING EXHIBIT
 DRAWN BY -
 DESIGNED BY -
 REVIEWED BY -

TITLE
VEHICLE STACKING EXHIBIT

SHEET
1

PRELIMINARY NOT FOR CONSTRUCTION

PLOT DATE: 02/24/2023 12:45 PM